

**CITY OF CODY**  
**PLANNING, ZONING AND ADJUSTMENT BOARD AGENDA**  
**TUESDAY, AUGUST 22, 2023 AT 12:00 P.M. (NOON)**  
**CODY CITY HALL, COUNCIL CHAMBERS, 1338 RUMSEY AVENUE, CODY, WY**

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1. Call the Meeting to order.
2. Roll Call, excused members.
3. Pledge of Allegiance.
4. Approval of the Agenda for the August 22, 2023 Regular Meeting.
5. Approval of the Minutes for the August 8, 2023 Regular Meeting.
6. Final Plat Review for the Khan Unit Development Subdivision, a 3-lot commercial subdivision of 209 Yellowstone Avenue.
7. Commercial Site Plan Review for development of 501 Stone Street.
8. P & Z Board Matters (announcements, comments, etc.)
9. Council Update
10. Staff Items
11. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

**City of Cody**  
**Planning, Zoning, and Adjustment Board Regular Meeting**  
**August 8, 2023**

A regular meeting of the City of Cody Planning, Zoning and Adjustment Board was held in the Cody Auditorium, 1240 Beck Avenue, Cody, Wyoming on Tuesday, August 8, 2023 at 12:00 pm.

Carson Rowley called the meeting to order at 12:00 pm.

Present: Carson Rowley; Dan Schein; Josh White; Kim Borer; Matt Moss; Scott Richard; Ian Morrison; Council Liaison Andy Quick; City Attorney Scott Kolpitzke; City Planner Todd Stowell.

Absent: None

Scott Richard made a motion second by Ian Morrison to go into an Executive Session. Vote on the motion was unanimous, motion passed. The board went into Executive Session at 12:03 p.m.

At 12:15 p.m. the Board exited the Executive Session.

Caron Rowley led everyone in the pledge of allegiance.

Ian Morrison made a motion to approve agenda for the August 8, 2023 regular meeting, seconded by Kim Borer. Vote on the motion was unanimous, motion passed.

Josh White made a motion to approve the minutes from the July 25, 2023 Regular Meeting, seconded by Dan Schein. Vote on the motion was unanimous, motion passed.

City Planner Todd Stowell gave a brief description for a special exemption requesting that the front setback requirement be reduced from 35 feet to 25 feet for a proposed house at 134 Robertson Street.

The Public Hearing started at 12:18 pm for the special exemption requesting that the front setback requirement be reduced from 35 feet to 25 feet for a proposed house at 134 Robertson Street.

Public Comment: No public comments

Public Meeting closed at 12:19 pm

Kim Borer made a motion, seconded by Ian Morrison that the Board make the Findings 1-4 as contained in the staff report and approve the setback reduction to authorize a 25-foot minimum front yard setback for construction of a new house at 134 Robertson Street. Vote on the motion was unanimous. Motion passed.

City Planner Todd Stowell gave a brief description for a special exemption for the request that the setback requirement from the east property line be reduced from 5 feet to 3 feet to accommodate a 9-foot extension to the east side of the garage at 1922 23<sup>rd</sup> Street.

The Public Hearing stated at 12:21 pm for the special exemption for the request that the setback requirement from the east property line be reduced from 5 feet to 3 feet to accommodate a 9-foot extension to the east side of the garage at 1922 23<sup>rd</sup> Street.

Public Comment: No Public comment.

Public Meeting closed at 12:22 pm

Scott Richard made a motion, seconded by Ian Morrison for the special exemption for 1922 23<sup>rd</sup> Street that the Board make the Findings 1-4 as contained in the staff report and approve the setback reduction to three feet from the east side property line, for the purpose of construction a garage addition as proposed. Vote on the motion was unanimous. Motion passed.

Ian Morrison recused himself from the tabled item related to the Site Plan Application for The Church of Jesus Christ of Latter-Day Saints.

Kim Borer made a motion, seconded by Josh White, to remove from the table the Consideration of the site plan and signs for the proposed temple of The Church of Jesus Christ of Latter-Day Saints, proposed at 555 Temple View Lane. Vote on the motion was unanimous. Motion passed.

Scott Richard made a motion, seconded by Matt Moss, to approve the commercial site plan application and sign for the proposed temple of The Church of Jesus Christ of Latter-Day Saints, proposed at 555 Temple View Lane subject to conditions 1-7 as recommended by the City Planner in his report with modification to Conditions #6 and #7 as described below, recommended Conditions 8 through 15, and with three additional conditions as described below.

Modified Condition #6: “Prior to placing the street fill material over the SMP pipeline issuance of a building permit, obtain agreement with Shoshone Municipal Pipeline on any plans necessary for protecting the SMP pipeline under the new street improvements, or show that additional protection is not necessary.”

Modified Condition #7: “Use of the City right-of-way along the east side of the property is with the understanding and commitment that the access road on the City right-of-way is a private improvement, with no maintenance or repair responsibility for the City, and that if the right-of-way is ever developed with a public street, the party constructing that street would have the right to remove and/or reconfigure that access as needed, working in good faith with the property owner of the temple site.”

Additional Condition #1: Site light shall be limited to an average of 2.1 footcandles. Fixtures shall be affixed with baffles so that direct illumination leaving the borders of the property shall not exceed 0.1 footcandles. Additionally, parking lot lighting and site lighting shall be switched to a motion activated lighting only mode one (1) hour after general temple operations (understood to be approximately one (1) hour after 10:00 PM MST). Site lighting may be switched to “fully on” 1 hour prior to the general temple operations (understood to be approximately one (1) hour prior to 6:00 AM MST).

Additional Condition #2: Architectural lighting shall be limited to the lighting plan submitted to the Planning and Zoning Commission for approval. Any deviation from this lighting plan would need to be resubmitted for approval. The Architectural lighting shall be turned off except to the extent needed for security of the building between one (1) hour after general temple operations (understood to be approximately one (1) hour after 10:00 PM MST) and one (1) hour prior to general temple operations (understood to be approximately one (1) hour prior to 6:00 AM MST).

Additional Condition #3: Understanding that the final authority for approval on a building permit lies with the City of Cody building department officials to approve an application in relation to the International Building Code, no application submitted for a building permit shall include a building or structure that exceeds 85 feet in height. Height is clarified for the purpose of this condition to include any building or structure element (tower, steeple, coping, spire, cupola, architectural elements, communication equipment or mechanical equipment) from the grade plane to the highest point of the building or structure. Scott Richard, Carson Rowley and Matt Moss were in favor of the motion. Dan Schein, Kim Borer and Josh White were opposed to the motion. (3-3) Motion failed.

Dan Schein made a motion to reject the commercial site plan application and sign for the proposed temple of The Church of Jesus Christ of Latter-Day Saints, proposed at 555 Temple View Lane, seconded by Scott Richard. Dan Schein, Kim Borer and Josh White were in favor of the motion. Scott Richard, Carson Rowley and Matt Moss were opposed to the motion. (3-3) Motion failed.

Carson Rowley made a motion, seconded by Scott Richard to approve the commercial site plan application and sign for the proposed temple of The Church of Jesus Christ of Latter-Day Saints, proposed at 555 Temple View Lane subject to conditions 1-7 as recommend by the City Planner



in his report with changes to Condition #6 and #7 as described below, recommended Conditions 8 through 15, and with two additional conditions as described below.”

Modification Condition #6: “Prior to placing the street fill material over the SMP pipeline ~~issuance of a building permit~~, obtain agreement with Shoshone Municipal Pipeline on any plans necessary for protecting the SMP pipeline under the new street improvements, or show that additional protection is not necessary.”

Modification Condition #7: “Use of the City right-of-way along the east side of the property is with the understanding and commitment that the access road on the City right-of-way is a private improvement, with no maintenance or repair responsibility for the City, and that if the right-of-way is ever developed with a public street, the party constructing that street would have the right to remove and/or reconfigure that access as needed, working in good faith with the property owner of the temple site.”

Additional Condition #1: Site light shall be limited to an average of 2.1 footcandles. Fixtures shall be affixed with baffles so that direct illumination leaving the borders of the property shall not exceed 0.1 footcandles. Additionally, parking lot lighting and site lighting shall be switched to a motion activated lighting only mode one (1) hour after general temple operations (understood to be approximately one (1) hour after 10:00 PM MST). Site lighting may be switched to “fully on” 1 hour prior to the general temple operations (understood to be approximately one (1) hour prior to 6:00 AM MST).

Additional Condition #2: Architectural lighting shall be limited to the lighting plan submitted to the Planning and Zoning Commission for approval. Any deviation from this lighting plan would need to be resubmitted for approval. The Architectural lighting shall be turned off except to the extent needed for security of the building between one (1) hour after general temple operations (understood to be approximately one (1) hour after 10:00 PM MST) and one (1) hour prior to general temple operations (understood to be approximately one (1) hour prior to 6:00 AM MST). Scott Richard, Kim Borer, Carson Rowley and Matt Moss were in favor of the motion. Dan Schein and Josh White were opposed to the motion. (4-2) Motion passed.

P& Z Board Matters (announcements, comment, etc.): None

Council Update: None

Staff Items: None

Dan Schein made a motion, seconded by Matt Moss to adjourn the meeting. Vote on the motion was unanimous. The meeting was adjourned at approximately 1:45 p.m.

*Utana Dye*

DRAFT

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	AUGUST 22, 2023	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	
<b>SUBJECT:</b>	FINAL PLAT AND CONSTRUCTION PLANS FOR THE KHAN UNIT DEVELOPMENT SUBDIVISION—A 3-LOT COMMERCIAL SUBDIVISION. SUB 2023-02	RECOMMENDATION TO COUNCIL:	X
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT OVERVIEW**

Tower West Holdings, LLC has submitted a preliminary plat application for a 3-lot subdivision identified as the Khan Unit Development Subdivision. The property is in the Light-industrial/Open Business (D-3) zoning district and currently vacant. Access to the three lots would be from a new street running north-south through the property.



**SUBDIVISION REGULATIONS**

The general subdivision ordinance requirements were reviewed with the preliminary plat approval. The following subdivision variances were granted by the City Council:

- 1) To waive the alley requirement.
- 2) To allow use of the updated master plan street section (Local section, with 34' asphalt width).

According to 11-3-3 of the subdivision ordinance, the subdivider is to present the final plat and all supplemental materials required according to the subdivision regulations.

**Status of Preliminary Plat Conditions:**

The conditions of the preliminary plat approval are listed below, with the status of each.

1. Provide the WYDOT access permit for construction of the new street connection to the Yellowstone Avenue. Incorporate any requirements into the street construction plans.

*Status: The WYDOT permit has been issued for the new street connection.*

2. The street location is dependent on the private access easement along the east side being removed/vacated immediately upon completion and acceptance of the new public street. Provide a written agreement from all affected parties indicating their commitment to do so. Include responsibility for removing the abandoned approach and replacing it with standard barrier curb, gutter, and sidewalk to WYDOT specifications.

*Status: The applicant's engineer states that all parties are agreeable, yet the written agreement is still pending.*

3. Modify the street right-of-way to correspond to a minimum 50-foot width, and provide 5-foot-wide public utility easements along each side.

*Status: The right-of-way is 50 feet, and easements shown along most of the right-of-way, but the easements need extended to the north property line.*

4. Design the street according to the extent of the variance granted.

*Status: Met.*

5. Vehicle access for the lots will be limited to the interior street. Include a note on the final plat to notify the lot owners of the restriction.

*Status: Met.*

6. All unused approaches are to be removed and replaced with standard barrier curb, gutter, and sidewalk to WYDOT specifications. For the unused approaches other than the private access addressed in Condition 1, the work is to occur in conjunction with construction of the new street.

*Status: Shown on plans, and included as conditions of the WYDOT access permit.*

7. Include installation of a street sign in the construction plans. The street name will be verified with the Street name committee.

*Status: Shown on plans. The proposed street name did not receive favorable comments, as there are already 14 street names in the County that start with "Sun", and Sunridge is quite similar to Sunrise, and many others. The length of the list is a concern for dispatch and 911 services. The committee requests that a different street name be provided.*

8. Provide a complete drainage report with the final plat application. Determine maintenance responsibility for the infiltration swale in coordination with the City. If privately maintained, determine maintenance responsibility between the lot owners.

*Status: An acceptable drainage report has been provided, and includes installation of a swale at the north end of Lot 1. If maintenance responsibility will remain with Lot 1, a note to that affect should be added to the plat. Otherwise, an agreement between the lot owners is needed.*

9. Satisfy the fire marshal and City regarding the plan for a fire hydrant at the north end of the property—either access to the hydrant on the Good 2 Go property, or a new hydrant.

*Status: A new hydrant has been added to the plans, on Lot 1, which is agreeable to the fire marshal.*

10. It is presumed that the property owner is planning to transfer the water rights off the property, rather than develop a distribution system for utilization of the water rights. If so, an Authorization to Detach Water Rights must be approved by the state Board of Control, which includes concurrence from the Cody Canal Irrigation District, before the final plat is signed by the mayor.

*Status: Addressed. Cody canal and the property owners indicate that the water rights for the ¼ section can be used elsewhere in the ¼ section without the need for a transfer or distribution plan. See email from Cody Canal.*

11. All unused utility services are to be abandoned to the satisfaction of the corresponding utility provider in conjunction with development of each lot. The septic tank is to be removed, or filled with a sand slurry. Any further clarification can be provided with the site plan reviews for development of each lot.

*Status: Noted on the plans. The water division indicates that there is an unused water service that will need to be shut off at the corp stop next to the main. The contractor will need to coordinate with WYDOT and Public Works to complete the work.*

12. As noted under the miscellaneous section: Move the “Yellowstone Avenue Highway 14, 16, 20” label to within the plat and otherwise clarify the highway right-of-way situation; and, add the existing easement along the east side of the property, with notes/labels as necessary to indicate its situation.

*Status: Met. The highway right-of-way is being more clearly dedicated to WYDOT through a separate document, to be executed and recorded prior to the final plat.*

13. The final plat application and construction documents shall otherwise comply with the City subdivision ordinance.

*Status: The utility providers (Black Hills Energy, TCT, Charter, electric, sewer, and water) have verbally indicated their ability to serve the subdivision, but still need to sign the utility plan. They may have some minor edits. If so, those edits will need to be reflected on the plans prior to commencing construction on the subdivision improvements.*

Other:

1. The legal description on the plat is based on the highway right-of-way being dedicated prior to recording the final plat.

2. The final plat needs the following edits:
  - a) Extend the 5-foot utility easements to the north property line.
  - b) Add the missing "pins" at the lot corners, and the west side of Lot 3.
  - c) Show the Street centerline monuments.
  - d) Change the street name, once the name is determined.
  - e) In the legend, add the symbols for the property corner pins and street monuments.
  - f) If Lot 1 is accepting responsibility for the drainage swale, add a note indicating such.
  - g) Note that the street is public.
  - h) Note that utility connection fees were not collected with the subdivision.
3. The electric division and 3rd party utility providers have asked for the opportunity to install conduit crossings under the new street and perhaps down the 5-foot utility easements, while the trenches are open. Please coordinate with those utility providers.

**RECOMMENDATION:**

It is recommended that the Planning and Zoning Board recommend to City Council the approval of the Khan Subdivision final plat and construction plans, subject to the following conditions:

*Prior to the mayor signing the final plat:*

1. Provide a copy of the construction plans with approval signatures of all 3<sup>rd</sup> party utility providers and the electric division.
2. Provide the written agreement for the relocation and abandonment of the road along the eastern portion of the property.
3. Complete and record the right-of-way dedication for the highway.
4. Either add a note about the owner of Lot 1 accepting responsibility for maintenance of the stormwater basin, or provide and obtain approval of a stormwater facility maintenance agreement, as to form, from the City attorney.
5. Complete the edits to the final plat, including:
  - a) Extend the 5-foot utility easements to the north property line.
  - b) Add the missing "pins" at the lot corners, and the west side of Lot 3.
  - c) Show the Street centerline monuments.
  - d) Change the street name, once the name is determined.
  - e) In the legend, add the symbols for the property corner pins and street monuments.
  - f) If Lot 1 is accepting responsibility for the drainage swale, add a note indicating such.

- g) Note that the street is public.
- h) Note that utility connection fees were not collected with the subdivision.

*Prior to issuance of building permits:*

- 6. Complete all subdivision improvements, or obtain a variance from the City Council setting forth the conditions of an early issuance.

*Other:*

- 7. Allow the electric division and 3<sup>rd</sup> party utility providers the opportunity to install conduit crossings under and along the new street, while the trenches are open.
- 8. Perform the construction and inspections as required so that upon completion of the improvements there can be provided the engineer's certification, developer's one-year warranty on the improvements, and other information as necessary to comply with Section 11-5-1(A) of the subdivision ordinance.
- 9. Upon completion of the subdivision improvements and prior to acceptance of the public infrastructure by the City, provide a summary to the City finance officer of the value of each of the public improvements by general category (street, sewer, water, power) for contributed capital purposes.

**ATTACHMENTS:**

Final Plat  
Construction Plans  
Drainage Report  
Irrigation email  
Utility correspondence



July 27, 2023

Todd Stowell, AICP  
Community Development Director/City Planner  
City of Cody  
1338 Rumsey Ave  
Cody, WY 82141

Subject: Khan Unit Development Subdivision

Dear Mr. Stowell:

Thank you for your review of the preliminary plat for the subject subdivision. Generally, the comments and conclusions mentioned in the "Subdivision Regulations" portion of the staff report indicate compliance with ordinances 11-4-2 and 11-5-1. Regarding Item F under 11-5-1: The existing sewer main does not conflict with the street alignment, but it is planned to be removed in its entirety (See attached exhibit). Regarding the manhole in the City main, our proposal is to connect the inlet and outlet sewer pipes within the manhole, plug the south inlet as required, and fill the manhole. The proposed grade of the sidewalk at the location of the manhole is about 1¼-ft higher than the existing elevation of the manhole lid, so our proposal would essentially eliminate the manhole rather than raise the lid which would be situated in the sidewalk. As shown in a detail sent to you on 7/14/23, manholes on each side of this abandoned manhole are only ±270 feet apart, which is significantly less than the 400-ft maximum spacing allowed. The supplemental materials (construction plans, drainage report, DEQ design report) should provide any additional information or clarifications necessary.

Regarding the comments under "Other," including Irrigation, Abandoned Utilities, and Miscellaneous, all items have been noted or addressed. Regarding water rights specifically: We are working with Cody Canal to determine if water rights are associated with this parcel and will provide an update as to the progress of the process soon. The agreement between SCE and the Owner for the handling of the water rights is included in the application packet.

The preliminary plat was of course was approved by the City Council based on the variances and conditions listed in the staff report, as recommended by the Planning and Zoning Board. Responses to these are listed below:

Subdivision Variances:

1. To allow use of the updated master plan street section (Local section, with 34' asphalt width) and corresponding reduction in right-of-way width (50 feet, with 5' utility easements to each side).  
OR  
To allow use of a 24-foot-wide asphalt street with curb, gutter, and sidewalks, shifted to one side of a 50-foot right-of-way with 5' utility easements to each side.





**The street will include 34-ft pavement width, 50-ft right-of-way, and 5-ft utility easements on each side.**

2. To waive the alley requirement.
3. To allow the surface water rights to be transferred to a 3rd party.

**See note above regarding water rights.**

Conditions:

1. Provide the WYDOT access permit for construction of the new street connection to the Yellowstone Avenue. Incorporate any requirements into the street construction plans.

**Permit is attached and requirements have been incorporated into the construction plans.**

2. The street location is dependent on the private access easement along the east side being removed/vacated immediately upon completion and acceptance of the new public street. Provide a written agreement from all affected parties indicating their commitment to do so. Include responsibility for removing the abandoned approach and replacing it with standard barrier curb, gutter, and sidewalk to WYDOT specifications.

**As mentioned, and recently verified via email correspondence, both parties are indeed agreeable to abandoning the access easement when the street is complete. A written agreement is being developed. The removal and replacement of the curb, gutter, and sidewalk at the existing driveway is incorporated in the construction plans.**

3. Modify the street right-of-way to correspond to a minimum 50-foot width, and provide 5-foot-wide public utility easements along each side.

**Done.**

4. Design the street according to the extent of the variance granted.

**Done. WYDOT was made aware of the changes so the access permit is based on the revised street design.**

5. Vehicle access for the lots will be limited to the interior street. Include a note on the final plat to notify the lot owners of the restriction.

**Done.**

6. All unused approaches are to be removed and replaced with standard barrier curb, gutter, and sidewalk to WYDOT specifications. For the unused approaches other than the private access addressed in Condition 1, the work is to occur in conjunction with construction of the new street.

**Removal and replacement of all existing, unused driveways has been incorporated into the construction plans.**

7. Include installation of a street sign in the construction plans. The street name will be verified with the Street name committee.

**The street sign combined with a stop sign at Yellowstone Avenue and a “Private Drive” sign to be installed on the north end of the street have been added to the construction plans.**

8. Provide a complete drainage report with the final plat application. Determine maintenance responsibility for the infiltration swale in coordination with the City. If privately maintained, determine maintenance responsibility between the lot owners.

**Drainage report is included with the final plat submittal. Maintenance responsibilities and agreement are being developed.**

9. Satisfy the fire marshal and City regarding the plan for a fire hydrant at the north end of the property—either access to the hydrant on the Good 2 Go property, or a new hydrant.

**A new main is proposed as depicted in the construction plans and the DEQ design report. This has been developed through consultation with the fire marshal.**

10. It is presumed that the property owner is planning to transfer the water rights off the property, rather than develop a distribution system for utilization of the water rights. If so, an authorization to Detach Water Rights must be approved by the state Board of Control, which includes concurrence from the Cody Canal Irrigation District, before the final plat is signed by the mayor.

**See explanation regarding the water rights above.**

11. All unused utility services are to be abandoned to the satisfaction of the corresponding utility provider in conjunction with development of each lot. The septic tank is to be removed, or filled with a sand slurry. Any further clarification can be provided with the site plan reviews for development of each lot.

**Buried utilities within the construction limits not in service will be abandoned appropriately. The septic tank shown on the preliminary plat utility plan was in error. When the campground that occupied the site previously was upgraded and hooked to the City’s sewer main, the plans available indicate the septic system components were removed. We have no knowledge of septic tanks existing on the property.**

12. As noted under the miscellaneous section: Move the “Yellowstone Avenue Highway 14, 16, 20” label to within the plat and otherwise clarify the highway right-of-way situation; and, add the existing easement along the east side of the property, with notes/labels as necessary to indicate its situation.

**Labels have been moved and added. The process of transferring the highway right-of-way to WYDOT is in-progress and will be complete prior to filing of the final plat.**

13. The final plat application and construction documents shall otherwise comply with the City subdivision ordinance.

**Done.**

Included with this letter are a draft of the final plat and supplemental materials as listed. Certain items from the application checklist that are forthcoming include:

- Utility plan with signatures of utility companies;
- Additional Utility company statements;
- CC & R's or maintenance agreements, if any.
- As mentioned in the staff report, tap and connection fees will be assessed as part of the site plan review for each individual lot.

Again, thank you for your assistance with this project. Outstanding items will be addressed and taken care of as quickly as possible. **With the assurance that these items will be addressed, we would appreciate receiving the "will serve" letter for the water main and approval to move forward with the required infrastructure installation as soon as possible.**

Sincerely,



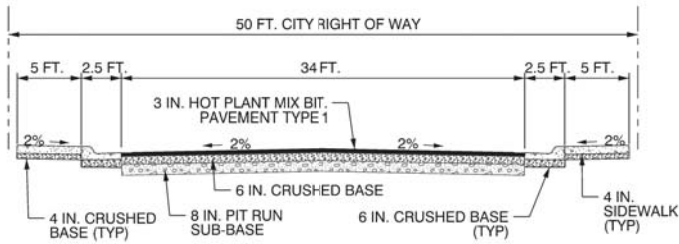
David R. Shultz, P.E.



# KHAN UNIT DEVELOPMENT SUBDIVISION

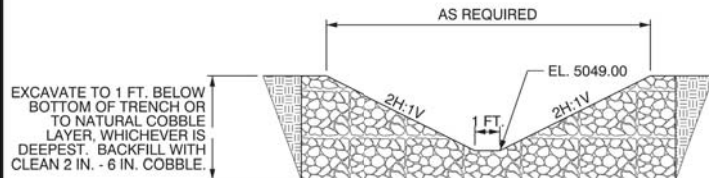
## GENERAL NOTES

- 1.) EXISTING DRIVEWAYS TO BE REMOVED OF CURB, GUTTER AND SIDEWALK. REPLACE WITH TYPE A CURB, GUTTER AND SIDEWALK.
- 2.) REMOVE CURB, GUTTER AND SIDEWALK. REPLACE WITH NEW APPROACH (CURB, GUTTER, SIDEWALK, AND DOUBLE GUTTER).
- 3.) CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
- 4.) MINIMUM BURY ON ALL TREATED WATER MAINS IS 6 FT.
- 5.) ALL MECHANICAL JOINTS SHALL INCLUDE JOINT RESTRAINT.
- 6.) ALL FIRE HYDRANTS SHALL BE 6 FT. BURY.
- 7.) SHALLOW UTILITY BOXES SHALL NOT BE LOCATED OVER THE TOP OF WATER, OR SEWER
- 8.) IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY CITY PERMITS.
- 9.) IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTROL DUST AND PREVENT "TRACK OUT" ONTO YELLOWSTONE AVENUE.

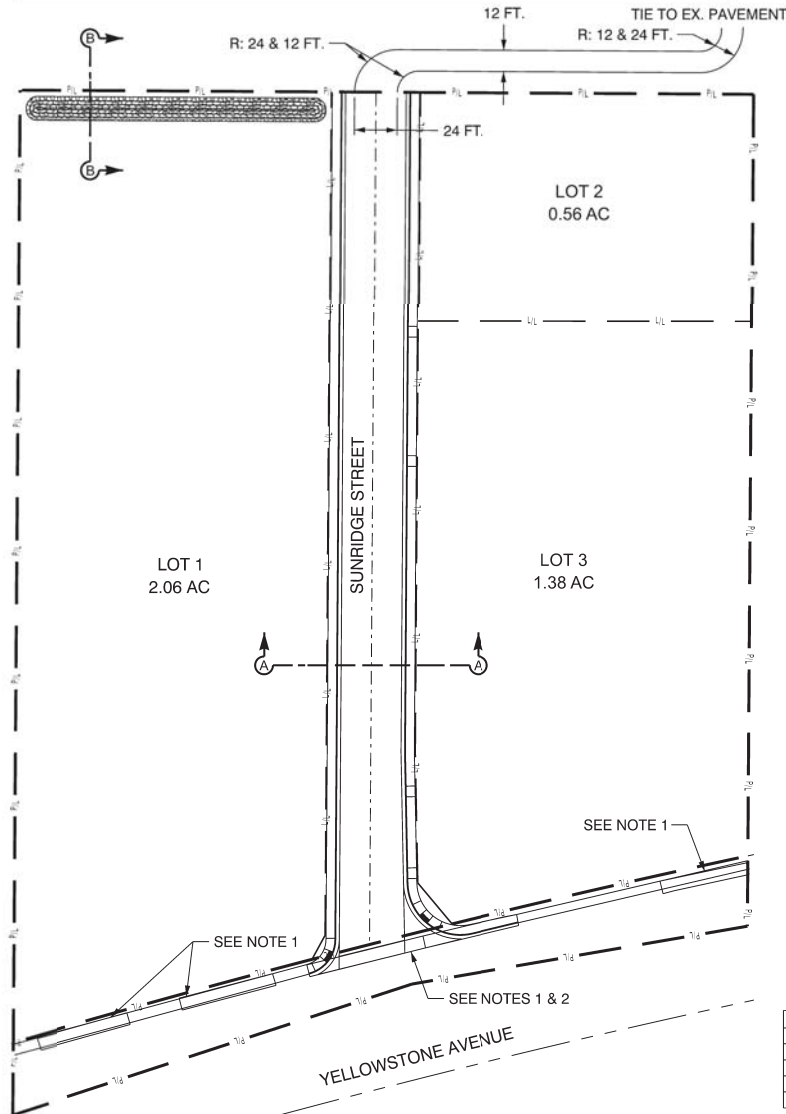


\*CURB AND GUTTER TO BE WYDOT TYPE 'A' OR FULL CITY OF CODY SECTION

TYPICAL STREET SECTION A-A



PERC TRENCH DETAIL SECTION B-B



INDEX OF SHEETS	
SHEET NO.	DESCRIPTION
1	SUNRIDGE STREET PLAN & PROFILE
2	TREATED WATER PLAN & PROFILE
3	UTILITY PLAN
4-15	CITY OF CODY & WYDOT STANDARD DETAILS

DATE	REVISION	DESCRIPTION
07/24/2023	PRELIMINARY PLANS	

JOB NO. 2022-049
DRAWN BY: BTM
CHECKED BY: DRS
APPROVED BY: DRS

COVER SHEET

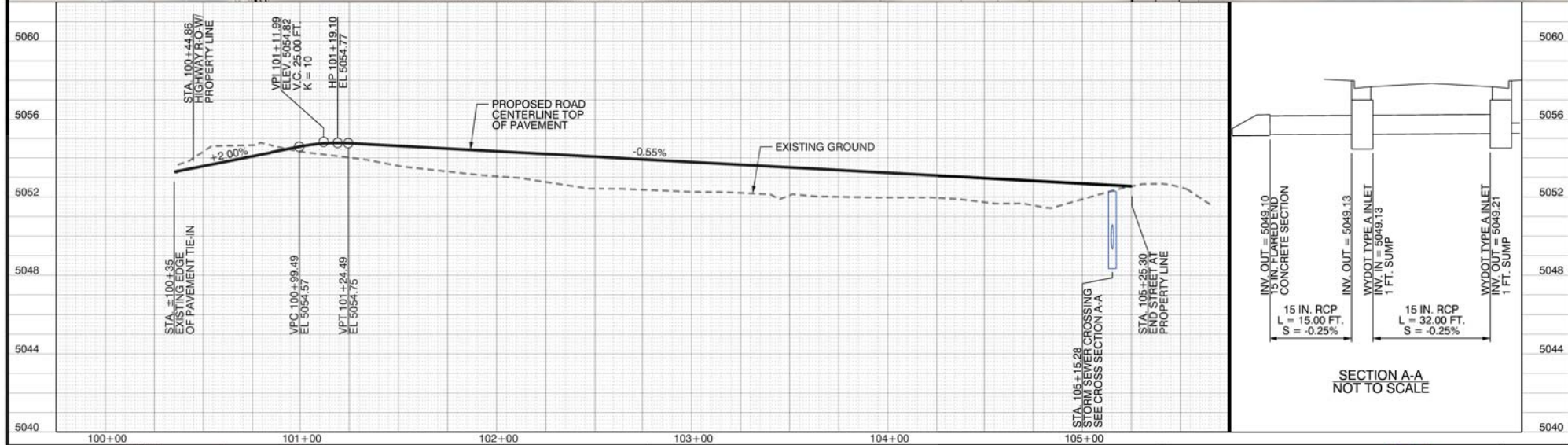
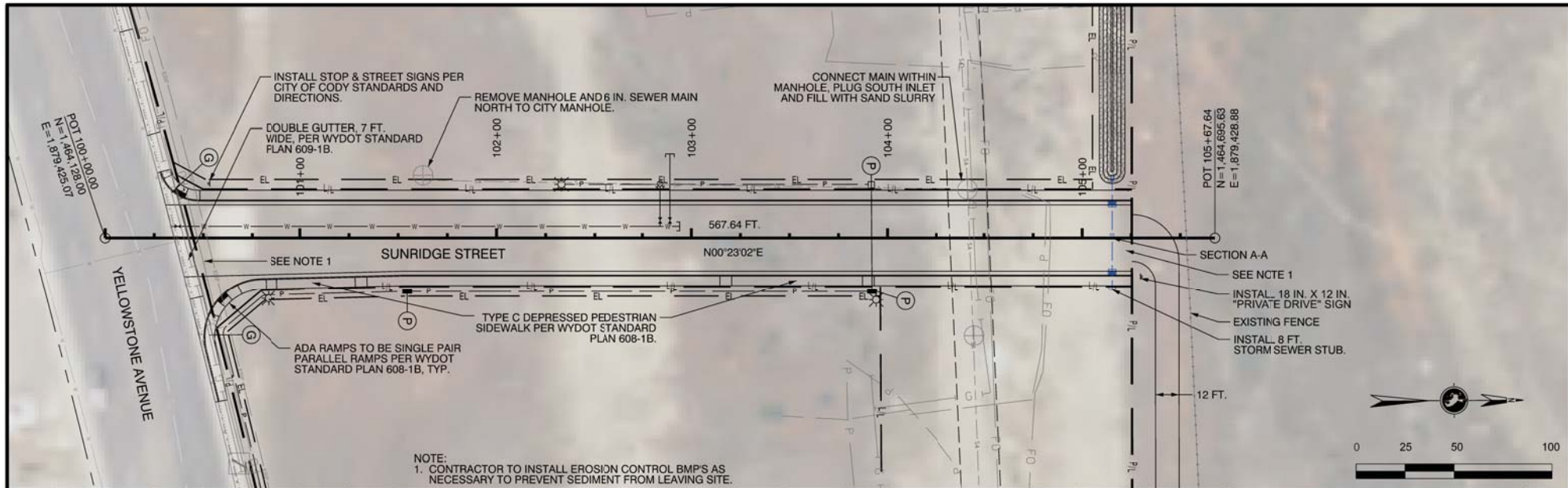
KHAN UNIT DEVELOPMENT SUBDIVISION  
TOWER WEST HOLDINGS, LLC

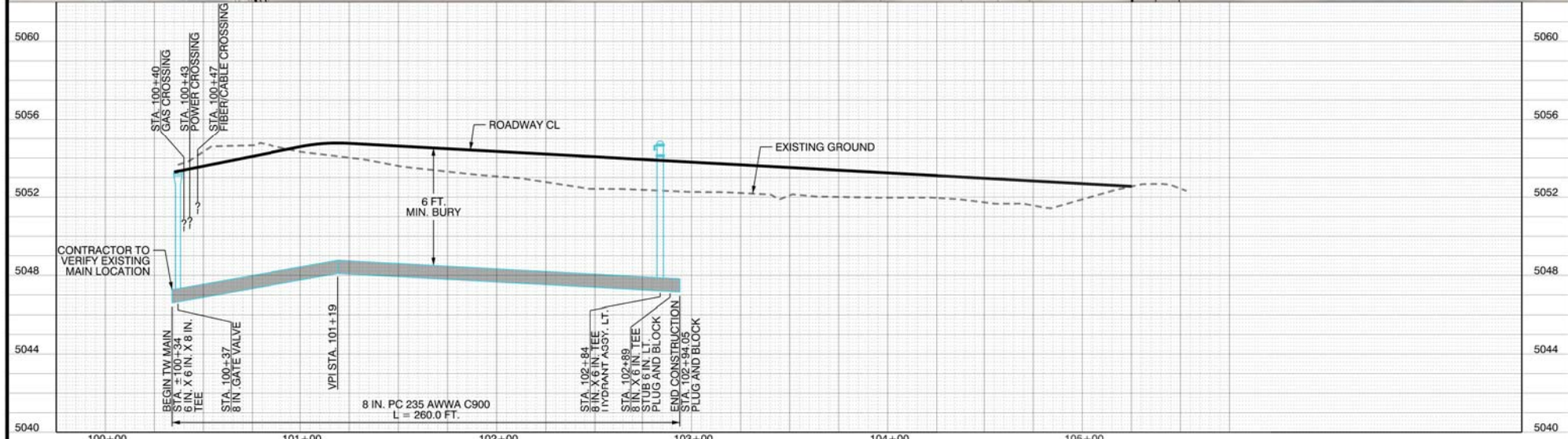
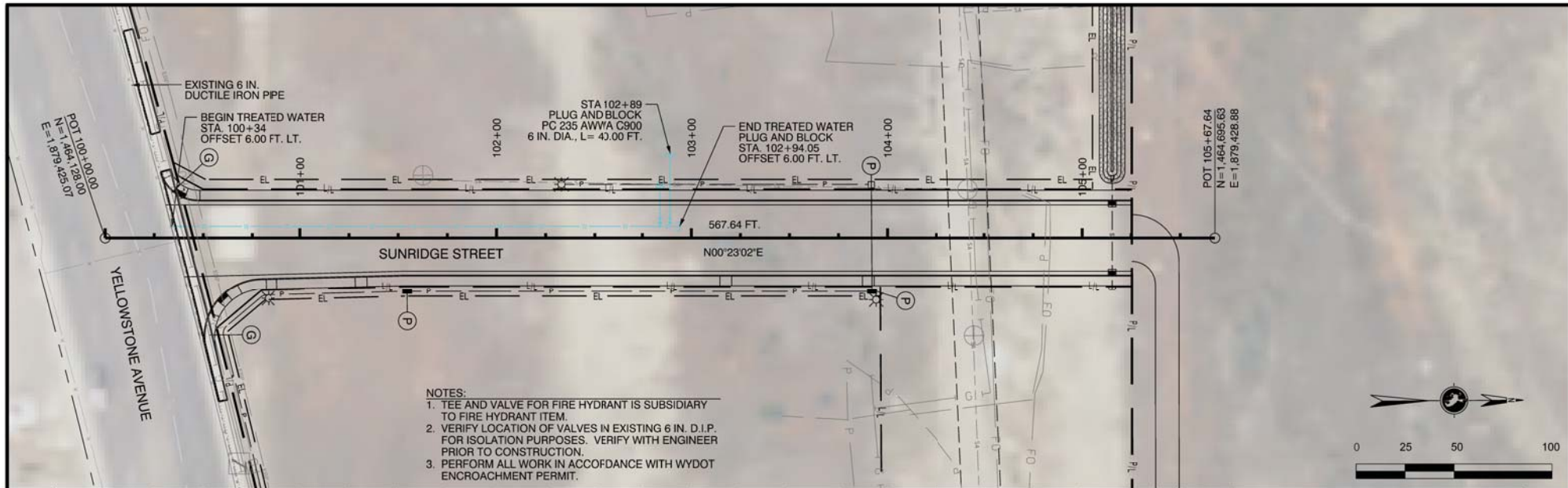
2824 BIG HORN AVE.  
CODY, WY 82414  
PHONE: (307) 527-0515  
FAX: (307) 527-0916



COVER



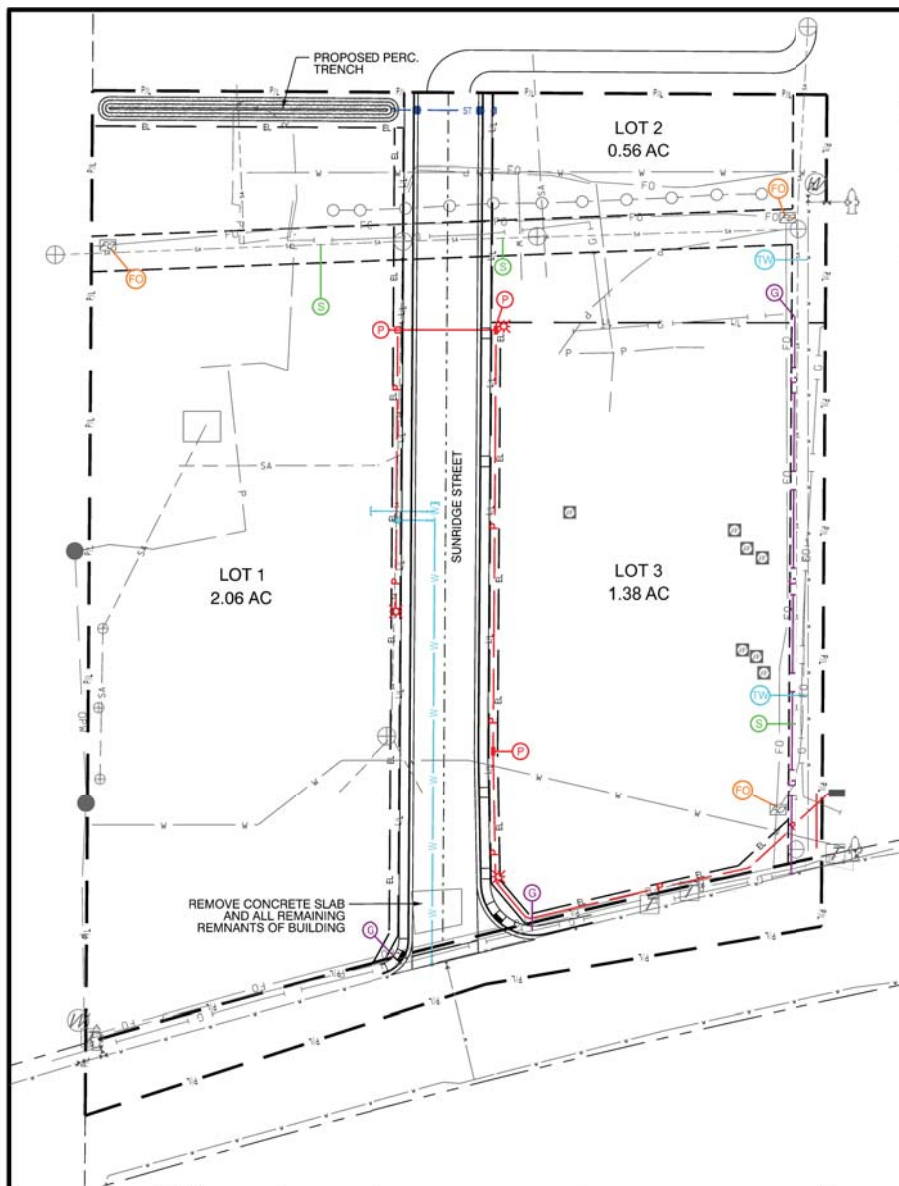




DATE 07/24/2023	REVISION DESCRIPTION PRELIMINARY PLANS	JOB NO. 2022-449 DRAWN BY: BTH CHECKED BY: DRS APPROVED BY: [Signature]	TREATED WATER PLAN & PROFILE	KHAN UNIT DEVELOPMENT SUBDIVISION TOWER WEST HOLDINGS, LLC	2824 BIG HORN AVE. CODY, WY 82414 PHONE: (307) 527-5915 FAX: (307) 527-5916	2 OF 3
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#### NOTES:

- EXISTING UTILITIES SHOWN ARE TO THE BEST OF THE ENGINEER'S KNOWLEDGE. CALL FOR UTILITY LOCATES PRIOR TO EXCAVATION.
- ALL PRIVATE SERVICES & MAINS THAT EXIST WITHIN THE PROPERTY ARE ASSUMED TO BE ABANDONED AND NO LONGER IN SERVICE, UNLESS NOTED OTHERWISE. REMOVE ALL ABANDONED UTILITIES IN CONFLICT.
- EXISTING UTILITIES SHOWN GREYSCALE, PROPOSED SHOWN COLOR/BLACK.
- EXISTING UTILITIES:
  - CITY OF CODY - TREATED WATER MAINS: (DEPTH, 6 FT. APPROX.)
    - 6 IN. DIP ALONG NORTH YELLOWSTONE AVE. FRONTAGE
    - 10 IN. PVC ALONG SOUTH YELLOWSTONE AVE. FRONTAGE
    - 8 IN. PVC WITHIN N-S EASEMENT ALONG EASTERN BOUNDARY
  - CITY OF CODY - SANITARY SEWER MAINS:
    - 10 IN. PVC, EAST TO WEST ACROSS PROPERTY (DEPTH, 9 FT. APPROX.)
    - 12 IN. PVC WITHIN N-S EASEMENT ALONG EASTERN BOUNDARY (DEPTH, 9.5 FT. APPROX.)
  - CITY OF CODY - ELECTRICAL:
    - UNDERGROUND ALONG PROPERTY FRONTAGE (DEPTH, 36-48 IN. APPROX.)
    - OVERHEAD AT WEST PROPERTY BOUNDARY
  - BLACK HILLS ENERGY - GAS LINE:
    - ALONG PROPERTY FRONTAGE (DEPTH, 3 FT. APPROX.)
    - WITHIN N-S EASEMENT ALONG EASTERN BOUNDARY
  - TCT - FIBER OPTIC:
    - ALONG PROPERTY FRONTAGE (DEPTH, 3 FT. APPROX.)
    - EAST TO WEST TOWARDS NORTH END OF PROPERTY
  - CODY CANAL:
    - WATER RIGHTS EXIST WITHIN THE PROPERTY AND WILL BE DEALT WITH ACCORDINGLY.

#### LEGEND

- SUBDIVISION BOUNDARY
- LOT LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- SA — SANITARY SEWER LINE & SERVICE
- TW — TREATED WATER LINE & SERVICE
- G — GAS MAIN AND SERVICE
- P — UNDERGROUND POWER LINE
- QFW — OVERHEAD POWER LINE & SERVICE
- POWER POLE
- POWER CABINET (PROPOSED/EXISTING)
- SECONDARY POWER
- ⊕ STREET LIGHT
- FO — FIBER OPTIC LINE & SERVICE
- ⊞ FIBER OPTIC VAULT
- ⊞ TELEPHONE/COMMUNICATION PEDESTAL
- ⊞ FIRE HYDRANT
- ⊞ WATER VALVE
- ⊞ WATER METER
- ⊞ EXISTING WELL
- MAJOR CONTOUR
- MINOR CONTOUR

PLANS ACCEPTED AND APPROVED FOR UTILITY PURPOSES BY:

CITY OF CODY WATER DIVISION

CITY OF CODY ELECTRIC DIVISION

BLACK HILLS ENERGY

TCT



0 35 70 140

DATE	REVISION	JOB NO.
07/24/2023	DESCRIPTION	2023-049
	PRELIMINARY PLANS	
		DRAWN BY: TLD
		CHECKED BY: DRS
		APPROVED BY: DRS

UTILITY PLAN

KHAN UNIT DEVELOPMENT SUBDIVISION  
TOWER WEST HOLDINGS, LLC

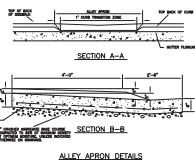
2824 BIG HORN AVE.  
CODY, WY 82414  
PHONE: (307) 527-0615  
FAX: (307) 527-0916



3 OF 3

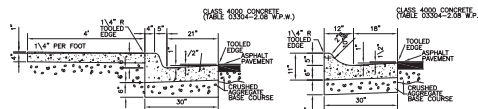






#### SPECIAL NOTE

THE ABOVE SHOWN TYPICAL STREET SECTIONS ARE TO BE CONSIDERED MINIMUM STANDARDS. ALL STREETS WILL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING DESIGN PROCEDURES WITH SAID DESIGN BEING APPROVED BY THE CITY ENGINEER.



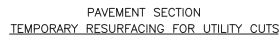
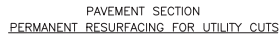
NOTE: 1. SUBGRADE COMPACTION SHALL CONFORM TO 2001 WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS SECTION 0231

2. 12" EXPANSION JOINTS SHALL BE PLACED AT P.C., P.T., AND CURB TURNS. COMPACTION JOINTS SHALL COMPLY WITH 2001 WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS SECTION 0250

3. NO CURB AND GUTTER SHALL BE PLACED WITHOUT A FINAL FORM INSPECTION BY THE ENGINEER.

5. CLASS A (TABLE 03304-2.08 W.P.W.) CONCRETE SHALL BE USED.

\*CONTRACTION JOINTS SHALL BE CONSTRUCTED BY SAWING OR SCORING. WHEN SCORING, A TOOL SHALL BE USED WHICH WILL LEAVE CORNERS ROUNDED AND DESTROY AGGREGATE INTERLOCK FOR SPECIFIED MINIMUM DEPTH.



NOTE: FIBER REINFORCED CONCRETE OR #3 BARS @ 12" OC EACH WAY MAY BE SUBSTITUTE FOR WELDED WIRE FABRIC UPON WRITTEN APPROVAL OF ENGINEER.



1. CONTROL ELEVATIONS SHOWN ARE IN RELATION TO THE GUTTER AND ARE LOCATED RADIALLY. GUTTER ELEVATION=0.
2. CLASS 'B' CONCRETE CONSTRUCTION AS PER SECTION 725.
3. WHEN CURB HEIGHTS OF 7" ARE SHOWN ON PLANS, USE DIMENSIONS SHOWN IN [ ]
4. DETECTABLE WARNING TO COMPLY WITH JURISDICTIONAL AGENCY'S REQUIREMENTS.



1. CONTROL ELEVATIONS SHOWN ARE IN RELATION TO THE GUTTER AND ARE LOCATED RADIALLY. GUTTER ELEVATION=0.
2. CLASS 'B' CONCRETE CONSTRUCTION AS PER SECTION 725.
3. WHEN CURB HEIGHTS OF 3" ARE SHOWN ON PLANS, USE DIMENSIONS SHOWN IN [ ]'S.
4. DETECTABLE WARNINGIS TO COMPLY WITH JOISDICTIONAL AGENCY'S REQUIREMENTS.
5. OFFSET RADII IS SUFFICIENT NO CUTTING OR



STANDARD BRASSCAP

### GENERAL NOTES

1. PLACE TRAILING DIMENSION DETECTABLE WARNING PANELS AT THE CURB OF RAMP. INSTALL ACROSS FULL WIDTH OF RAMP
2. MINIMUM 61mm (2 1/2") IN DEPTH AND SET BACK 200mm (8") FROM BOTTOM OF CURB.
3. SECONDARY CURB RAMP SLOPE SHOULD BE RELATIVE TO THE TRUE LEVEL DRAINAGE (ZERO DRAINAGE)
4. IN ALTERNATING CURB RAMP (SLOPED) SLOPE, PROVIDE A MINIMUM RISE OF 15mm (5/16") OR 12.5% FOR MAXIMUM RISE OF 75mm (3")
5. CURB RUMPS, IN ALTERNATIONS, NEED NOT EXCEED 1.80 (7 1/8") IN LENGTH.
6. SIDE FIELDS ARE NOT PART OF THE PATH OF TRAVEL MAY BE ANY SLOPE.
7. THE ANGLE OF THE RAMP SHOULD BE 15 DEGREES OR GREATER. "PERFORMANCE" IF THE ANGLE BETWEEN THE LONGITUDINAL AXIS OF THE RAMP AND A TANGENT TO THE CURB AT THE RAMP CENTER IS 75 DEGREES OR GREATER.
8. TOOLED JOINTS ARE REQUIRED AT ALL SECONDARY RAMP SLOPE BREAKS.
9. SECONDARY JUMP IN NOT NECESSARY WHEN THE RAMP IS PROTECTED FROM PEDESTRIAN CROSS-TRAVEL.
10. THICKEN CORNER UNDER DETECTABLE WARNING PANEL.
11. IN FREEZE THAW ZONES, LAY 3/16" GAP IN BETWEEN PANELS AND SEAL WITH GROUT.

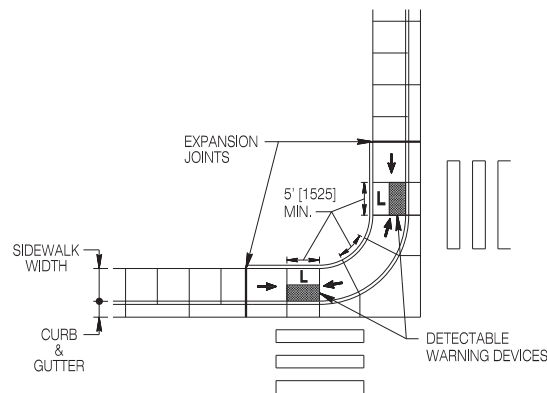


1. CHANGE GRADATIONS	9/10/98	INC	DRAWN BY: JLD
2. CHG CORR CORNERS	10/7/98	INC	CHECKED BY: SMP
3. CHG CORR CORNERS	11/1/98	INC	JOB NAME: STREET STANDARD DETAIL
4. CHG CORR CORNERS	11/1/98	INC	FILE NAME: H:\ENGINEERING\AUTOCAD~\DETAILS
5. CHG CORR CORNERS	11/1/98	INC	DATE: 7/06/2015
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9. CHG CORR CORNERS	11/1/98	INC	
10. CHG CORR CORNERS	11/1/98	INC	
11. CHG CORR CORNERS	11/1/98	INC	
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13. CHG CORR CORNERS	11/1/98	INC	
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87. CH			

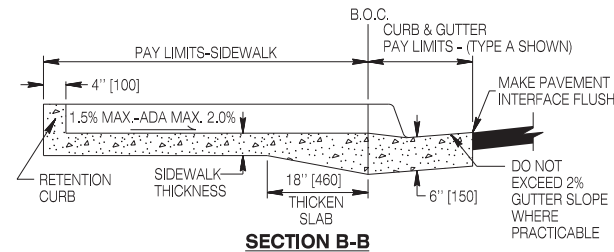
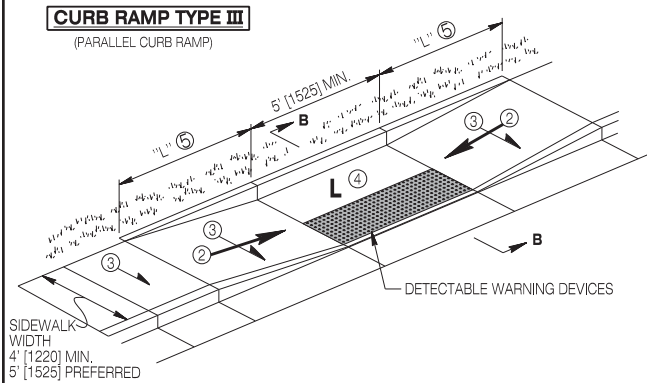
### TYPE III (PARALLEL) CURB RAMP REQUIREMENTS

Use type III parallel ramps when it is not feasible to construct type I perpendicular, or type II combined ramps.

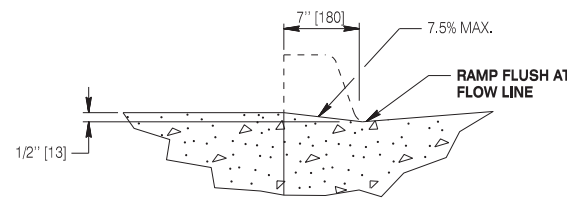
- ➔ ➊ **Ramp Width:** Provide a ramp width equal to or greater than the adjacent sidewalk run.
- ➔ ➋ **Ramp Slope:** 7.5% or flatter, ADA maximum = 8.3%.
- ➔ ➌ **Ramp Cross-Slope:** 1.5%, ADA maximum = 2.0%.
- ➔ ➍ **"L" Landing/Turning Area:** Provide a landing/turning area at the bottom of parallel ramps with a width equal to the ramp width. Provide a landing length (in the direction of the ramp run) of 5 ft. [1525] minimum. Do not exceed a slope of 1.5% for the landing in either primary direction (parallel or perpendicular to the ramp run). Ensure the landing is fully contained within the pedestrian crossing. ADA maximum cross-slope = 2.0%.
- ➔ ➎ **Ramp Length:** Ramp length is normally determined by the ramp slope and the elevation change from the sidewalk to the landing. For flat terrain and a 6 in. [150] curb height the ramp length equals 6'-8" [2030]. Where the terrain is sloping, ramp lengths can get significantly longer, however, ADA does not require the ramp length to exceed 15 ft. [4.6 m].
- ➔ ➏ **Single or Dual Pair Ramps:** Provide dual pair ramps when they adequately fit site conditions and align with ramps on the other side of the street. Where dual ramps are not practical due to existing site conditions, provide single pair ramps. Ensure the ramp landings are fully contained within the pedestrian crossing.



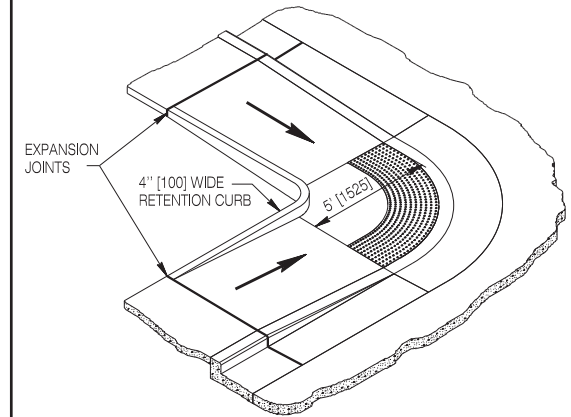
**DUAL PAIR PARALLEL RAMPS**



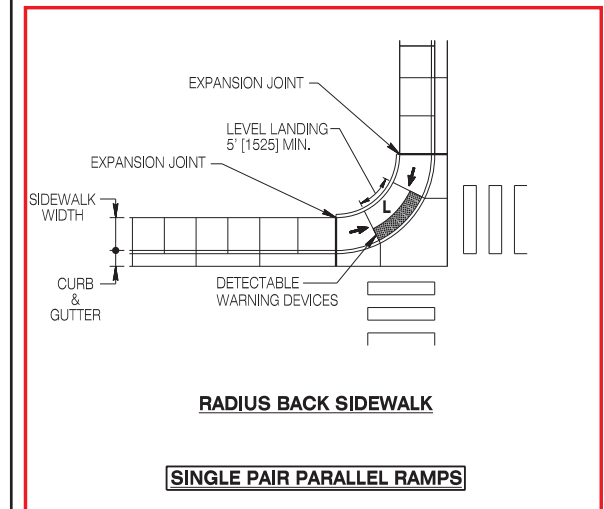
**SECTION B-B**



**CURB & GUTTER MODIFICATION AT LANDING**



**SQUARE BACK SIDEWALK**



**RADIUS BACK SIDEWALK**

**SINGLE PAIR PARALLEL RAMPS**

Designed by: WBW  
Drawn by: RCS  
Checked by: WBW  
Revision Date: 608-1A

### TYPE III (PARALLEL) CURB RAMPS

Note: Units shown in brackets [ ] are metric and are in millimeters (mm) unless other units are shown.



WYOMING DEPARTMENT  
OF  
TRANSPORTATION



### CONCRETE SIDEWALK AND ADA ACCESSIBILITY

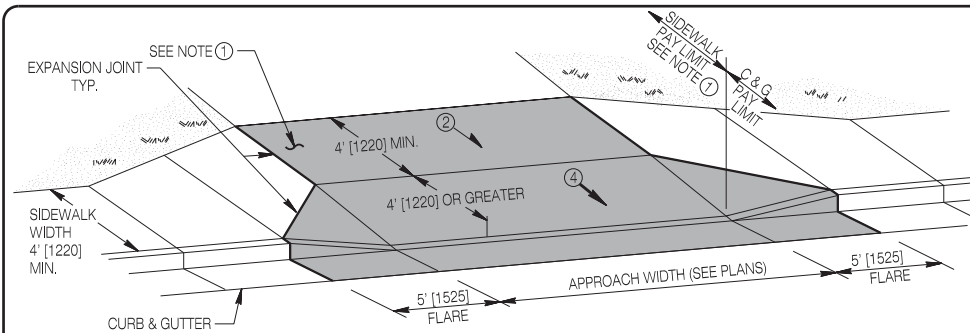
STANDARD PLAN

STANDARD PLAN NUMBER

**608-1B**

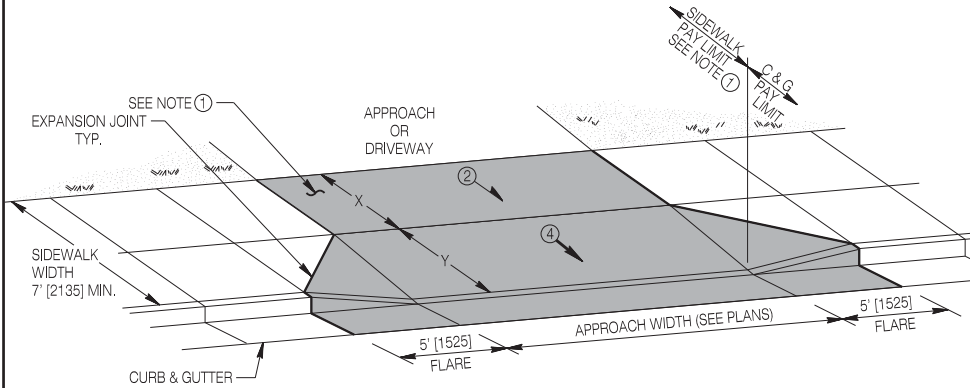
SHEET 6 of 8

Issued by: ENGINEERING SERVICES  
Date Issued: JULY 2018



**TYPE A - PEDESTRIAN SIDEWALK WITH EXTERNAL BYPASS**

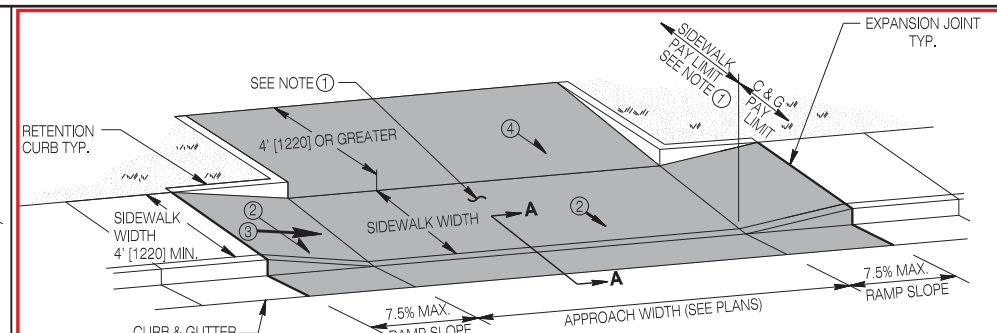
(USE FOR SIDEWALK ADJACENT TO CURB WHERE RIGHT-OF-WAY PERMITS CONSTRUCTION)



**TYPE B - PEDESTRIAN SIDEWALK WITH INTERNAL BYPASS**

(USE WITH SIDEWALK WIDTHS 7' [2135] AND WIDER.)

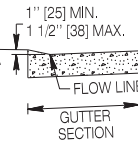
SIDEWALK WIDTH		X		Y	
Ft	mm	Ft	mm	Ft	mm
7'	2135	4'	1220	3'	915
8'	2440	4'	1220	4'	1220
≥9'	≥2745	5' MIN.	1525 MIN.	4' MIN.	1220 MIN.



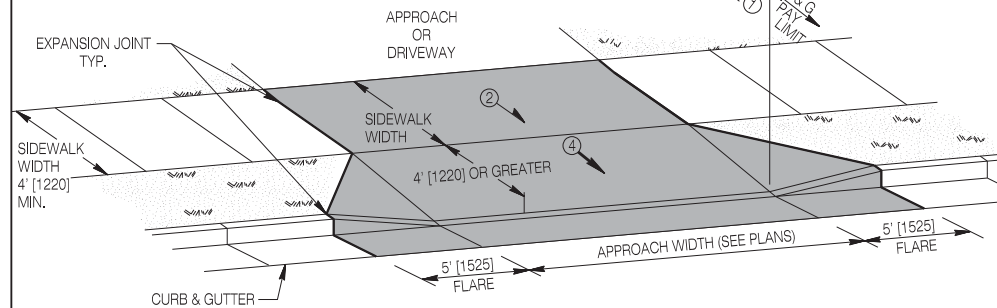
**TYPE C - DEPRESSED PEDESTRIAN SIDEWALK**

**NOTE:**

Elevate depressed sidewalk 1" to 1 1/2" [25 to 38] above flow line of gutter unless this driveway doubles as a curb ramp.



**SECTION A-A**



**TYPE D - DETACHED PEDESTRIAN SIDEWALK**

(MOST DESIRABLE TREATMENT)

**TYPICAL SIDEWALK AND/OR DOUBLE GUTTER TREATMENT AT APPROACHES**

**NOTES:**

① **DRIVEWAYS AND APPROACHES:** Driveways and approaches are paid for as sidewalk behind the back of curb line (including retention curbs) and curb & gutter in front of the back of curb line, **unless** double gutter is specified at a given location. The **shaded area** represents the pay limits if double gutter is specified and the entire shaded area will be constructed to the depth specified for double gutter.

➔ ② **CROSS SLOPE:** Slope sidewalks at 1.5% towards street unless otherwise shown. ADA does not permit the cross-slope to exceed 2.0%.

➔ ③ **RAMP SLOPE:** 7.5% or flatter, ADA maximum = 8.3%.

➔ ④ **DRIVEWAY SLOPE:** Driveway slopes typically exceed ADA cross-slope requirements, therefore the pedestrian access route through a driveway must be made to not exceed 2% (ADA). If a driveway serves a dual purpose as an ADA curb ramp and a driveway, the driveway must conform to perpendicular curb ramp requirements. For Single use driveways (such as residential), where the driveway is relatively flat after the initial rise to curb height (typically 6 inches [150] high) the driveway slope can be achieved in a length of 4 feet [1220] perpendicular to the street. For busier approaches, flatter driveways should be considered to reduce the effect of slowing traffic on the street.

Designed by: WBW  
Drawn by: RCS  
Checked by: WBW  
Revision Date: No. 608-1A

DRIVEWAYS & APPROACHES



WYOMING DEPARTMENT  
OF  
TRANSPORTATION



CONCRETE SIDEWALK AND  
ADA ACCESSIBILITY

STANDARD PLAN

STANDARD PLAN NUMBER

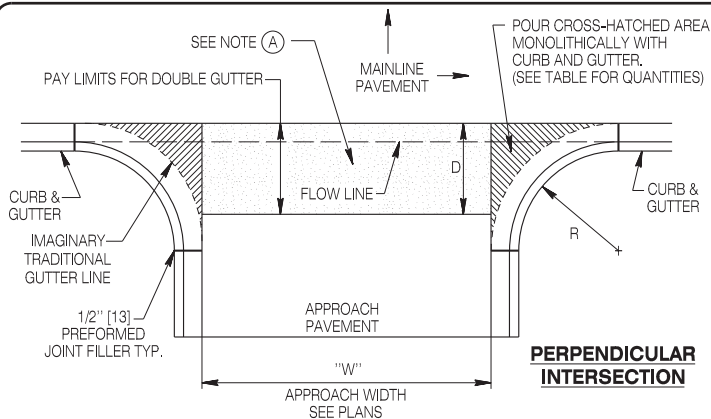
**608-1B**

SHEET 7 of 8

Issued by: ENGINEERING SERVICES  
Date Issued: JULY 2018

Note: Units shown in brackets [ ] are metric and are in millimeters (mm) unless other units are shown.

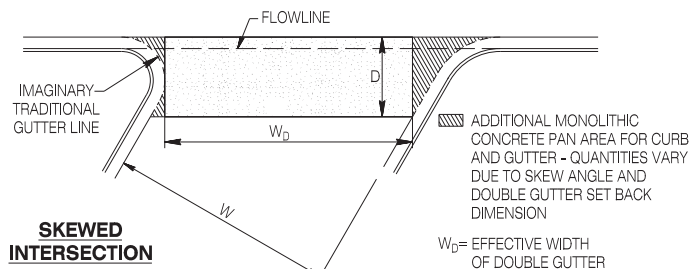




Square off gutter pan creating an apron as shown. The added concrete quantities will be incidental to the pay item, Curb & Gutter.

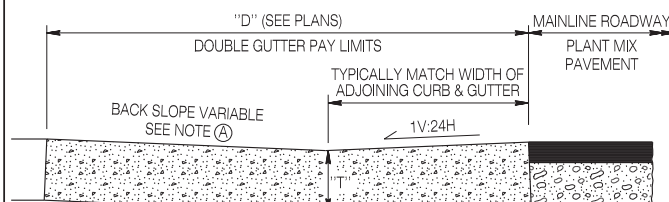
ESTIMATED ADDITIONAL CONCRETE QUANTITIES FOR CROSS-HATCHED AREA FOR PERPENDICULAR INTERSECTIONS ONLY *							
RADIUS		CONCRETE		RADIUS		CONCRETE	
Ft	m	CY	m <sup>3</sup>	Ft	m	CY	m <sup>3</sup>
5	1.5	0.2	0.15	25	7.6	3.0	2.29
10	3.0	0.6	0.46	30	9.1	4.2	3.21
12	3.7	0.8	0.61	40	12	7.2	5.50
15	4.6	1.2	0.92	45	13.7	9.0	6.86
20	6.1	2.0	1.53	50	15.2	11.0	8.37

\*Approximate additional concrete quantity for one square out. Tables values are based on a perpendicular intersection, 6 in. [150] thick gutter and on "D"= 2 ft-6in. [760]. Table provided for estimating purposes only.



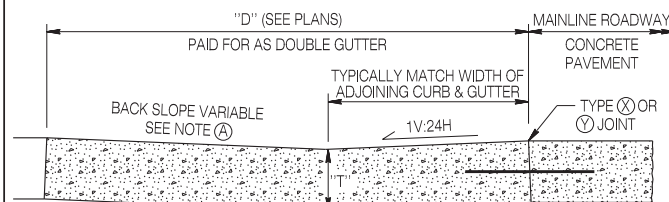
### SKewed INTERSECTION

### CURB AND GUTTER AND DOUBLE GUTTER REQUIREMENTS AT INTERSECTIONS



### DOUBLE GUTTER ADJACENT TO MAINLINE PLANT MIX PAVEMENT

T = See note④, General Notes, Sheet 1.



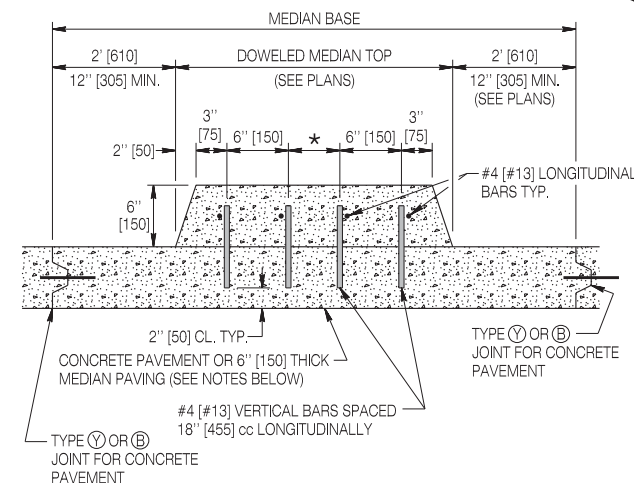
### DOUBLE GUTTER ADJACENT TO MAINLINE CONCRETE PAVEMENT

For Double Gutter next to concrete pavement, match concrete pavement contraction joint spacing.

### DOUBLE GUTTER REQUIREMENTS

T = See note④, General Notes, Sheet 1

- Ensure the backslope for double gutter is 1V:48H or flatter when located in the path of a pedestrian crossing to meet ADA requirements. Otherwise, use a slope as directed by the Engineer.
- See sidewalk standard plan for further requirements for double gutter for (driveway) approaches located within city blocks.

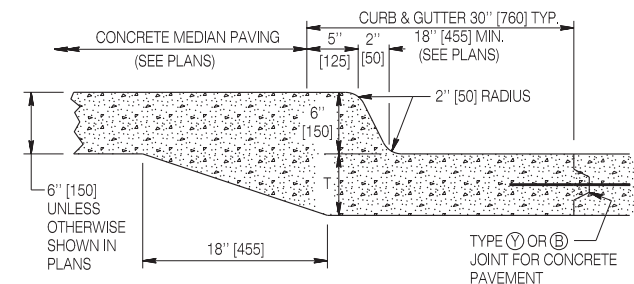


### DOWELED CONCRETE MEDIAN

\* For median top widths wider than 4 ft [1.2 m], use additional vertical and longitudinal bars. Ensure bars are added and spaced no greater than 18 in [455] cc in the lateral and longitudinal direction.

If doweled concrete median is located in an area of concrete pavement, use concrete pavement as base. Dowel top to concrete pavement, measure and pay the base as concrete pavement. Measure and pay the doweled median top as median paving.

If doweled concrete median is located adjacent to plant mix pavement, measure and pay the base of concrete median as median paving. Pay the doweled median top as an additional area of median paving.



### INTEGRAL CURB & MEDIAN PAVING

### MEDIAN PAVING DETAILS

Designed by: WBSW  
Drawn by: JK  
Checked by: WBSW  
Revision No.: 609-1A

### DOUBLE GUTTER DETAILS

Note: Units shown in brackets [ ] are metric and are in millimeters (mm) unless other units are shown.



WYOMING DEPARTMENT  
OF  
TRANSPORTATION



### CURB AND GUTTER DOUBLE GUTTER AND MEDIAN PAVING

STANDARD PLAN

STANDARD PLAN NUMBER

609-1B

SHEET 3 of 3

Issued by: ENGINEERING SERVICES  
Date Issued: JANUARY 2012

## GENERAL NOTES

### Live Loading:

HS 20-44 [MS 18]

### Reinforcement (Grade 40):

$F_y = 40,000$  psi [275.8 MPa]

$F_s = 20,000$  psi [137.9 MPa]

### Concrete (Class B):

$F_c = 3250$  psi [22.4 MPa]

$F_c = 1300$  psi [9.0 MPa]

### Structural Steel (A-36):

$F_y = 36,000$  psi [248.2 MPa]

$F_s = 20,000$  psi [137.9 MPa]

### Curb Openings:

Provide a curb opening when specified.

### Inlet Grates:

Fabricated grate and frame weight is approximately 340 pounds [154 kg]. Cast grate and frame weight is approximately 660 pounds [300 kg].

### Inlet Types:

**Type A:** Cast in place or precast concrete box. Weight of the box excluding the lid and including 1 CY [0.8 m<sup>3</sup>]± of concrete and 80 pounds [36 kg]± of reinforcing steel is approximately 4000 pounds, [1800 kg].

**Type B:** A vertical pipe riser with a precast T-section connecting trunk or feeder line.

**Type C:** Vertical pipe section riser with a precast, cast in place or integrally cast base. Weight of the circular cast in place inlet, excluding the lid, and including 110 pounds [50kg]± reinforcing steel is approximately 3500 pounds [1600 kg].

**Type D:** Shallow depth inlet box with a T-section inlet feeder pipe connected to the bottom of the inlet box with the trunk line directly under the inlet.

**Type E:** Shallow depth inlet box with the feeder connected to the bottom of the inlet and the trunk line offset from the inlet.

### Anchor Hooks:

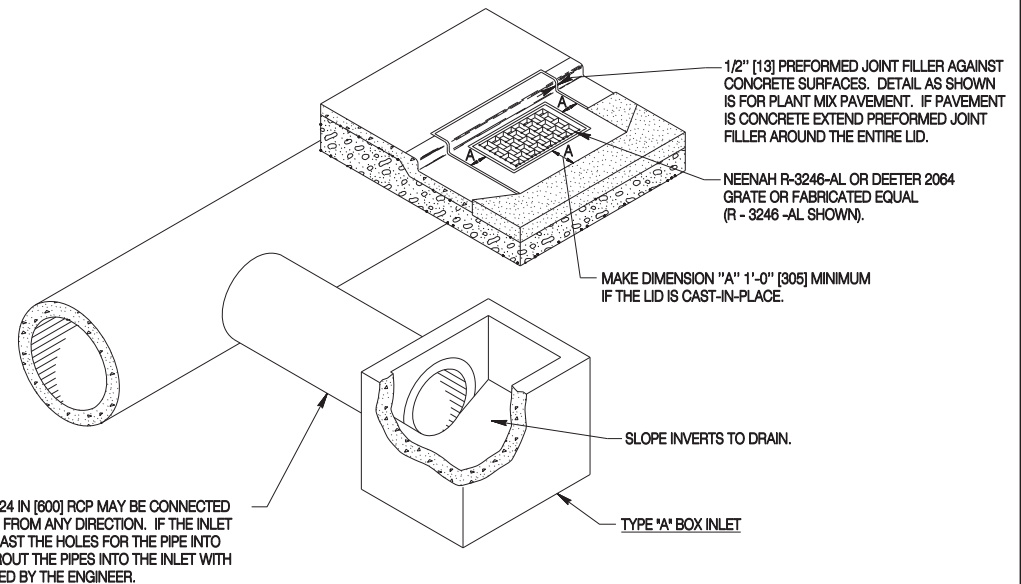
Standard, square, round or equivalent headed anchors may be substituted for the right angle hooks shown. Full penetration butt welds may be substituted for fillet welds on anchors. Anchor bolts may be deleted if the curb section is cast in place.

### Reinforcing:

Use #4 [#13] reinforcing bars equally spaced.

### Metric Dimensions:

Metric pipe dimensions are based on 1 in = 25 mm. Industry standards at the time of this contract may dictate the exact conversion of 1 in = 25.4 mm. Adjust metric dimensions shown herein accordingly.



A MAXIMUM OF A 24 IN [600] RCP MAY BE CONNECTED TO THE INLET BOX FROM ANY DIRECTION. IF THE INLET IS PRECAST, PRECAST THE HOLES FOR THE PIPE INTO THE INLET AND GROUT THE PIPES INTO THE INLET WITH A GROUT APPROVED BY THE ENGINEER.

## INDEX

GENERAL LAYOUTS	— — — — —	SHEETS 1-2
TYPE 'A', 'D', & 'E' INLET DETAILS	— — — — —	SHEET 3
TYPE 'B' CIRCULAR INLET DETAILS	— — — — —	SHEETS 4-5
TYPE 'C' CIRCULAR INLET DETAILS	— — — — —	SHEETS 4-5
GRATE DETAILS	— — — — —	SHEET 7

Designed by: CRR  
Drawn by: GLD  
Checked by: RRC  
Revision No: 625-02A

## GENERAL LAYOUTS

Note: Units shown in brackets [ ] are metric and are in millimeters (mm) unless other units are shown.



WYOMING DEPARTMENT  
OF  
TRANSPORTATION



## STORM SEWER CURB INLETS

STANDARD PLAN

STANDARD PLAN NUMBER

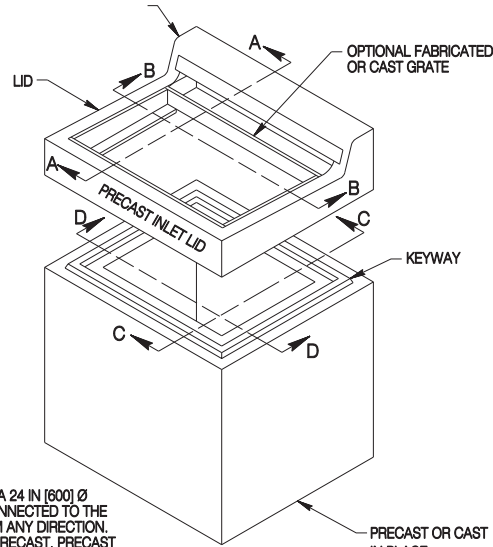
625-2

SHEET 1 of 7

Issued by: ENGINEERING SERVICES

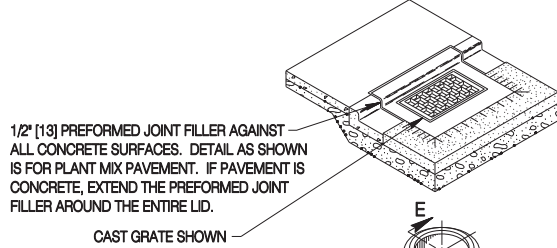
Date Issued: NOVEMBER, 2004

FILE: J:\Storm\Drawl\_S&S\_WYK2822\_01.dgn

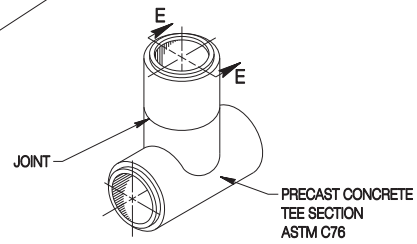


**TYPE 'A' INLET**

NOTE: A MAXIMUM OF A 24 IN [600] Ø RCP MAY BE CONNECTED TO THE INLET BOX FROM ANY DIRECTION. IF THE INLET IS PRECAST, PRECAST THE HOLES FOR THE PIPE INTO THE INLET AND GROUT THE PIPES INTO THE INLET WITH A GROUT APPROVED BY THE ENGINEER.

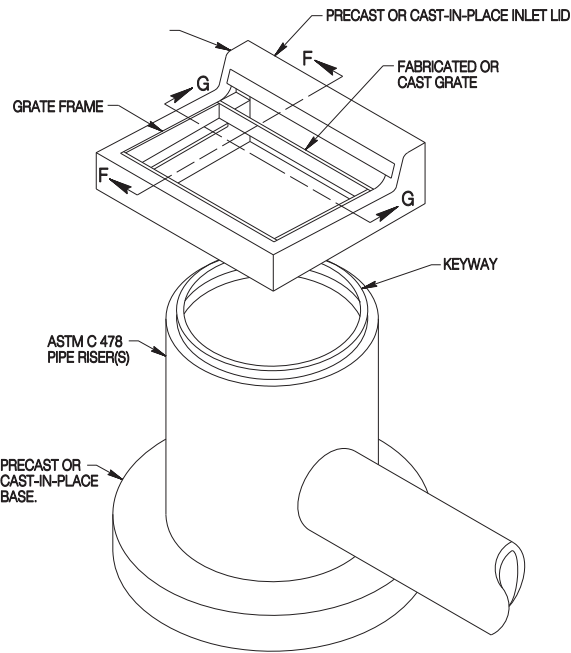


CAST GRATE SHOWN



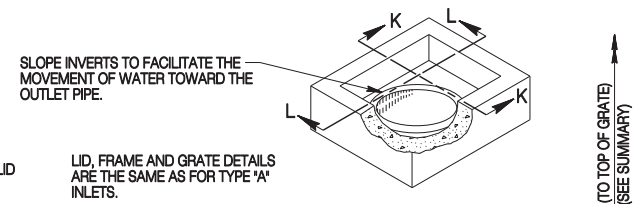
**TYPE 'B' INLET**

GENERAL LAYOUTS



**TYPE 'C' INLET**

NOTE: A MAXIMUM OF A 24 IN [600] Ø RCP MAY BE CONNECTED TO THE INLET BARREL FROM ANY DIRECTION. IF THE INLET IS PRECAST, PRECAST THE HOLES FOR



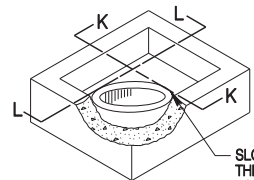
**TYPE 'D' INLET**

LID, FRAME AND GRATE DETAILS ARE THE SAME AS FOR TYPE 'A' INLETS.

18" [450] MIN. - 24" [600] MAX. RCP INLET RISER

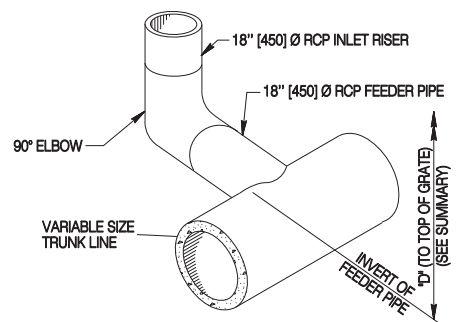
VARIABLE SIZE TRUNK LINE

TRUNK LINE INVERT



LID, FRAME AND GRATE DETAILS ARE THE SAME AS FOR TYPE 'A' INLETS.

SLOPE INVERTS TO FACILITATE THE MOVEMENT OF WATER TOWARD THE OUTLET PIPE.



**TYPE 'E' INLET**

STORM SEWER CURB INLETS

625-2

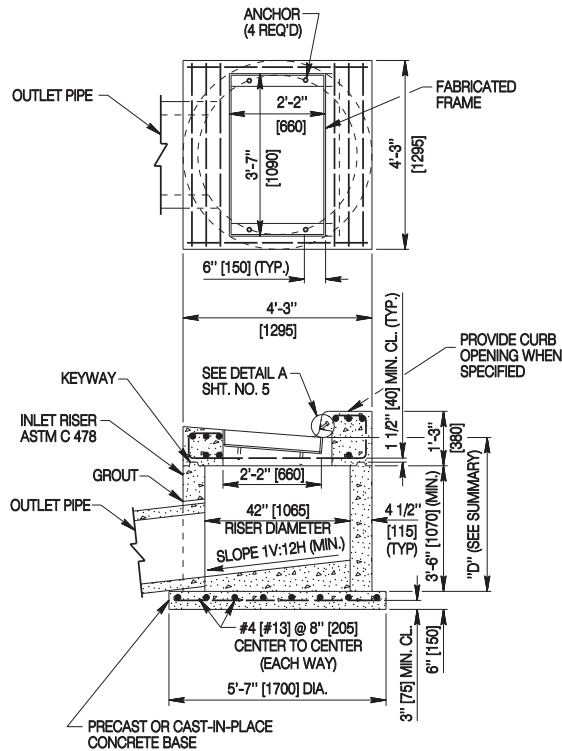
2 7  
ENGINEERING SERVICES

FILE: j:\StormDual\_Std\_VHW02252\_02.dgn



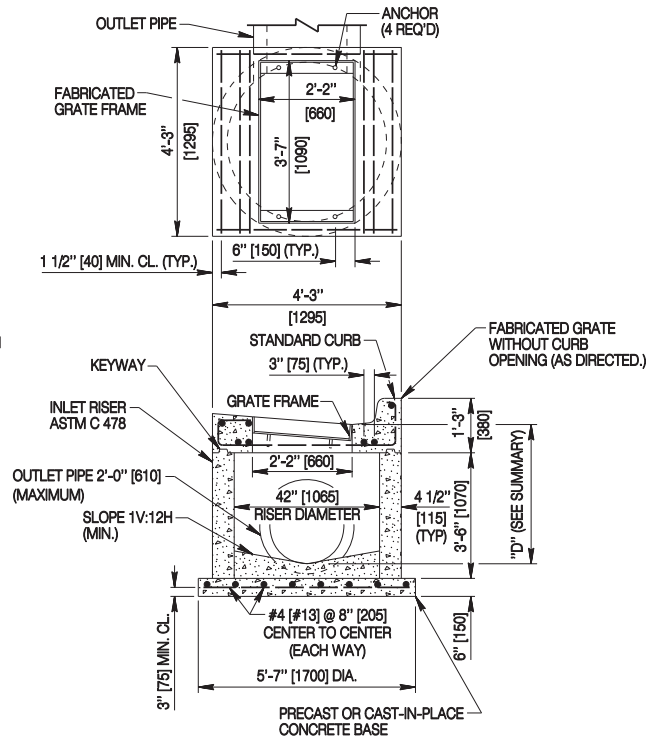
FILE: i:\Stan\Dual Std Wks6252 03.





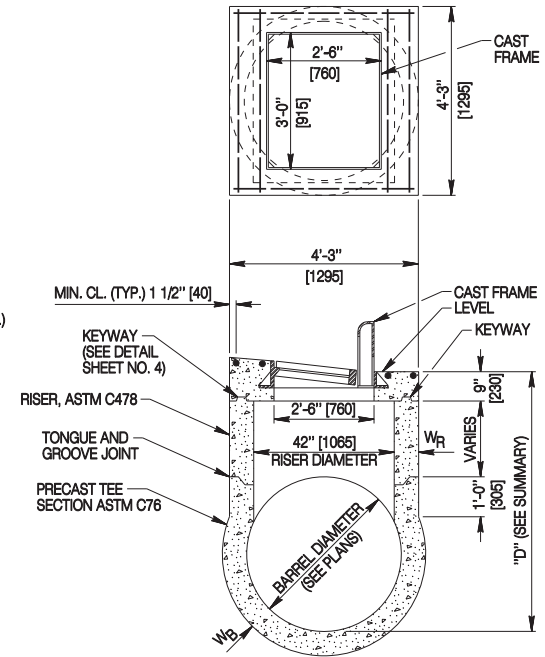
SECTION G-G

**TYPE "C" INLET WITH FABRICATED GRATE AND CURB OPENING**



SECTION G-G

**TYPE "C" INLET WITH FABRICATED GRATE WITHOUT CURB OPENING**



SECTION E-E

**TYPE "B" INLET WITH CAST GRATE**

TABLE A					
DIAMETER OF BARREL		W <sub>B</sub>		W <sub>R</sub>	
IN	mm	IN	mm	IN	mm
42	1050	4 1/2	115	4 1/2	115
48	1200	5	125	4 1/2	115
60	1500	6	150	4 1/2	115

#### Notes

**Anchor Bolts:** Anchor bolts may be deleted if lid is cast-in-place or slip formed.

**Curb Opening:** When directed by the engineer, provide a curb opening in the cast grate or the optional fabricated grate.

**Lid Details:** Lid details shown on sheet 5.

Designed by: CRR  
Drawn by: GLD  
Checked by: RRC  
Previous Dep. No.: 625-02A

#### TYPE "B" & "C" CIRCULAR INLET DETAILS

Note: Units shown in brackets [ ] are metric and are in millimeters (mm) unless other units are shown.



WYOMING DEPARTMENT  
OF  
TRANSPORTATION



#### STORM SEWER CURB INLETS

STANDARD PLAN

STANDARD PLAN NUMBER

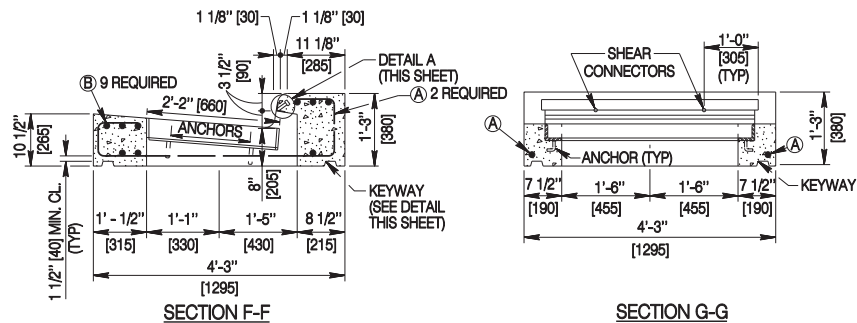
**625-2**

SHEET 4 of 7

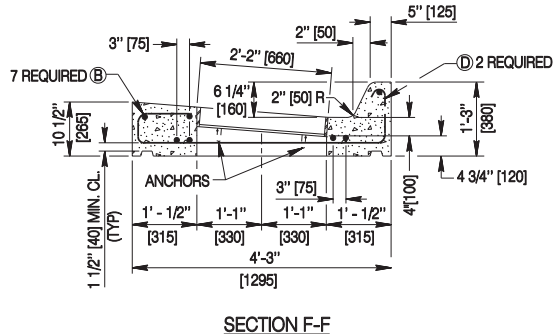
Issued by: ENGINEERING SERVICES

Date Issued: NOVEMBER, 2004

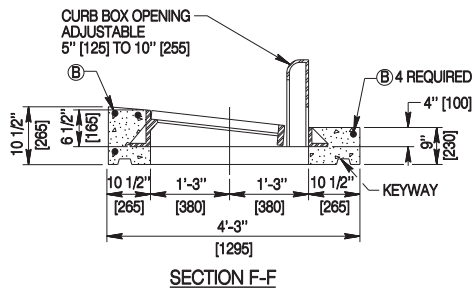
FILE: j:\Storm\Drawl\_SSD\_WX6252\_04.dgn



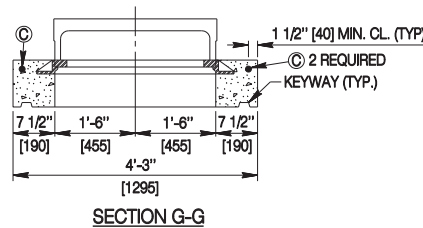
**PRECAST INLET LID WITH FABRICATED GRATE AND CURB OPENING  
FOR TYPE 'B' OR TYPE 'C' INLET**



**PRECAST INLET LID WITH FABRICATED GRATE WITHOUT CURB OPENING  
FOR TYPE 'B' OR TYPE 'C' INLET**



**SECTION F-F**

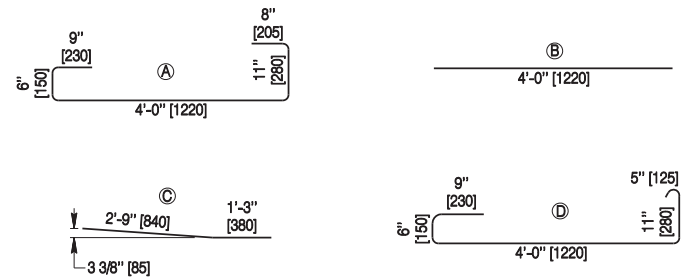


**SECTION G-G**

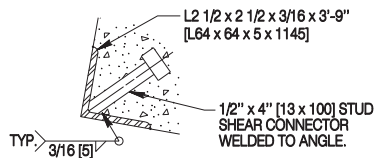
**PRECAST INLET LID WITH CAST GRATE WITH CURB OPENING  
FOR TYPE 'B' OR TYPE 'C' INLET**

**PRECAST CURB SECTIONS**

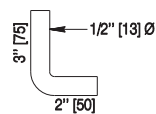
**NOTE:** WARP CURB SECTIONS AND ROAD SURFACES TO MATCH ELEVATIONS OF PRECAST INLET LIDS.



**REINFORCING STEEL DETAILS**

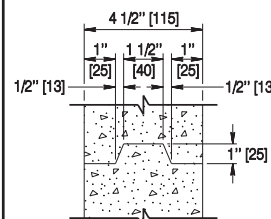


**DETAIL A**

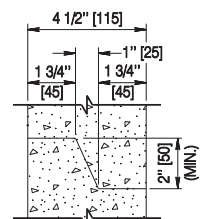


**ANCHOR DETAIL**  
(4 REQ'D PER FABRICATED GRATE)

**NOTE:** ANCHORS MAY BE DELETED IF THE CURB SECTION LID IS CAST-IN-PLACE OR SLIP FORMED.



**OPTIONAL**



**COMMON**

**KEYWAY DETAILS FOR  
TYPE 'B' & 'C' CIRCULAR INLETS**

THE KEY JOINT MAY BE DELETED, BUT ENSURE PROPER PLACEMENT AND PROPER BEARING OF THE LID ON THE INLET.

Designed by: CRR  
Drawn by: GLD  
Checked by: RRC  
Revision Des. No. 625-02A

TYPE 'B' & 'C' CIRCULAR INLET DETAILS

Note: Units shown in brackets [ ] are metric and are in millimeters (mm) unless other units are shown.



WYOMING DEPARTMENT  
OF  
TRANSPORTATION



STORM SEWER CURB INLETS

STANDARD PLAN

STANDARD PLAN NUMBER  
**625-2**  
SHEET 5 of 7  
Issued by: ENGINEERING SERVICES  
Date Issued: NOVEMBER, 2004  
FILE: J:\StmDual\_Sht\_WK6252\_06.dgn

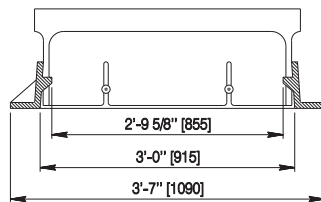


### TYPE "C" CIRCULAR INLET DETAILS

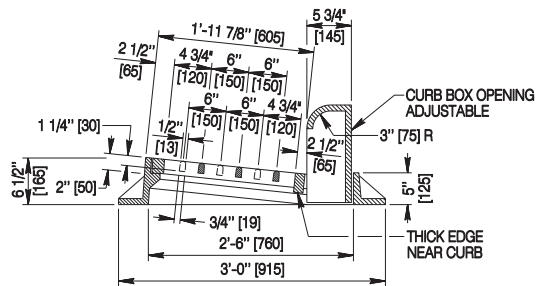


- 1) Risers meeting the requirements of ASTM C478 (or C79 Class II) with exposed reinforcing steel may be cast separately.
- 2) The tongue and groove joint between the riser and lid and the anchor bolts may be omitted; ensure that proper placement and complete bearing of lid is provided.
- 3) Measure the "D" dimension from invert elevation to top of grate.
- 4) Lid details are shown on Sheet 5.

TOP VIEW



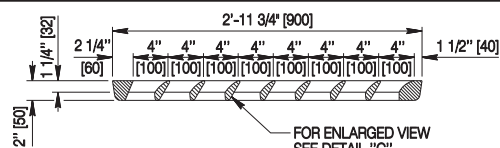
**SECTION A-A**  
**(WITHOUT GRATE)**



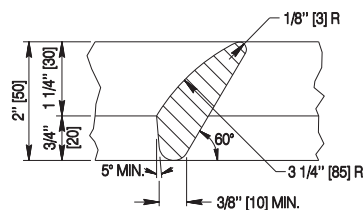
SECTION B-B

**NEENAH R-3246-AL OR DEETER 2064 INLET GRATE**

(OR EQUIVALENT)  
FOR HS20 [MS 18] LOADING



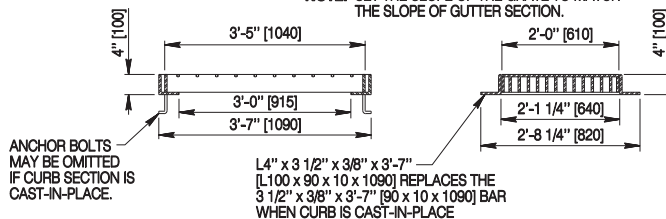
### GRATE DETAIL




DETAIL "C"

**NOTE:** INCLUDE A REMARK ON THE INLET SUMMARY DESIGNATING WHETHER THE GRATE IS RIGHT, R, OR LEFT, L. A RIGHT, R, INLET DESIGNATES FLOW TO THE RIGHT WHEN LOOKING AT THE CURB AND A LEFT, L, INLET INDICATES FLOW TO THE LEFT WHEN LOOKING AT THE CURB.

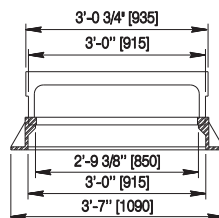
**NOTE:** SET THE SLOPE OF THE GRATE TO MATCH THE SLOPE OF GUTTER SECTION.



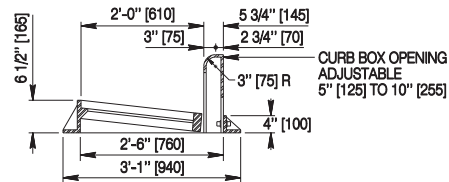
ANCHOR BOLTS  
MAY BE OMITTED  
IF CURB SECTION IS  
CAST-IN-PLACE.

L4" x 3 1/2" x 3/8" x 3'-7"   
[L100 x 90 x 10 x 1090] REPLACES THE  
3 1/2" x 3/8" x 3'-7" [90 x 10 x 1090] BAR  
WHEN CURB IS CAST-IN-PLACE

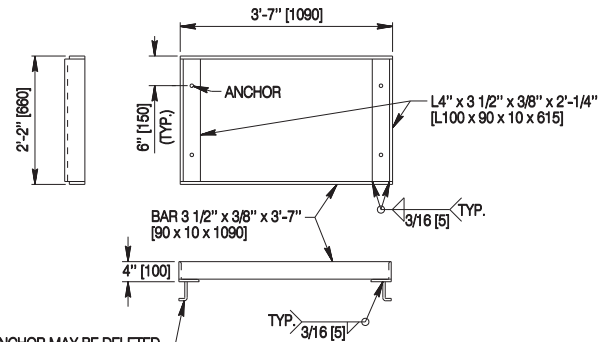
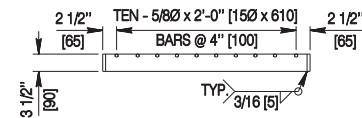
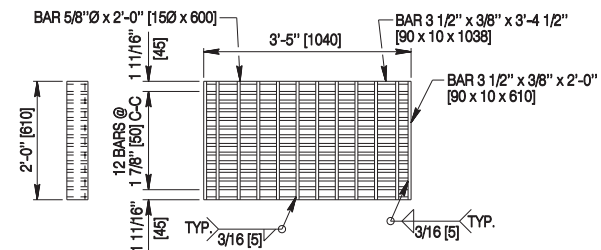
**FABRICATED GRATE**



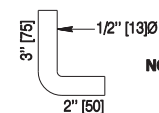
**NEENAH #R-3246-AL FRAME OR EQUIVALENT WITH CURB OPENING**



— CURB BOX OPENING  
ADJUSTABLE  
5" [125] TO 10" [255]



ANCHOR MAY BE DELETED  
IF THE CURB SECTION IS  
CAST-IN-PLACE.

**FABRICATED GRATE**

**NOTE:** ANCHORS MAY BE DELETED IF THE CURB SECTION LID IS CAST-IN-PLACE OR SLIP FORMED.

ANCHOR DETAIL  
(4 REQ'D PER FABRICATED GRATE)



# DRAINAGE REPORT

For

## KHAN UNIT DEVELOPMENT

209 Yellowstone Avenue

Owner

**Tower West Holdings, LLC**

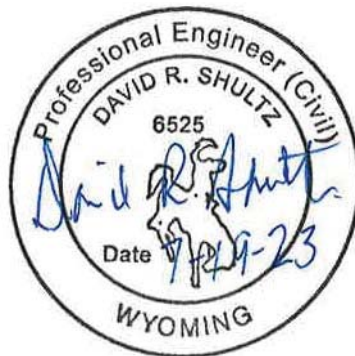
631 Par Avenue  
Gillette, Wyoming 82718

Engineer



SAGE CIVIL ENGINEERING  
ENGINEERS | SURVEYORS

2824 Big Horn Ave.  
Cody, WY 82414



July 2023



## Introduction - Property Description

This project is located at 209 Yellowstone Avenue (U.S. Hwy 14-16-20) in Cody. The property is on the north side of the street, situated between the Good-2-Go convenience store and the U.S. Forest Service building. The most recent use of the lot was a campground but it is now vacant.

The existing ground consists of areas of compacted gravel path/roadways constructed while the campground was in business and areas of topsoil and natural dryland grasses. A portion of the property along the highway right-of-way drains to the highway while the remainder drains to the north. There are a few small depressions on the lot, however most runoff will eventually leave the property and flow toward the Shoshone River to the north.

For the purposes of calculating existing/historic runoff, a conservative runoff coefficient of 0.20 (unimproved) was used for the entire area.



Existing Site



Looking north along proposed street alignment

## Purpose of Drainage Plan & Report

This drainage plan outlines the proposed measures to handle storm water runoff for this subdivision. The property will be subdivided into three parcels, with small businesses contemplated for each lot.

Each business will present commercial site plans through the Planning & Zoning application process, thus individual drainage plans will be required for each individual lot. This drainage plan and report will address the increase in expected runoff for the city street (Sunridge Street) with pavement, curb, gutter, and sidewalk proposed from Yellowstone Avenue to the north property line. Runoff will be directed to a percolation trench, so per the City of Cody's Storm Water Management Policy, drainage calculations have been performed for the 25-yr, 2-hr storm.

## Description of Facilities

The city street planned for the subdivision will generally consist of a 34-ft pavement width with curb, gutter and 5-ft sidewalks on each side for a total impervious width of 49 feet. The street from Yellowstone Avenue north approximately 115 feet will vary in pavement width to accommodate a 40-ft approach (face-of-curb to face-of-curb), which is the maximum approach width allowed by WYDOT.

Currently runoff flows to the highway right-of-way from a portion of the property on the south end, adjacent to the street. Sunridge Street is proposed to slope back toward Yellowstone Avenue to create a reasonable intersection for traffic traveling onto Sunridge Street from Yellowstone Avenue and vice versa and provide an ADA compliant cross slope across Sunridge Street. It is presumed the future developments planned for the new lots adjacent to Yellowstone Avenue (Lots 1 & 3) will be required to manage storm water runoff such that it cannot drain to Yellowstone Avenue. The portion of Sunridge Street that will drain to Yellowstone Avenue, approximately 67 feet from the highway right-of-way line, will generate less runoff during the design storm than what flows to the highway presently (see calculations).

The remainder of Sunridge Street will drain in the curb and gutter north to two WYDOT Type A curb inlets and through 15-inch RCP to a percolation trench constructed along the north property line of Lot 1.

## Calculations

The storm drainage runoff calculations used the following data:

Applicable C values are:

$C_{\text{pavement}}$	= 0.90
$C_{\text{unimproved}}$	= 0.20

Drainage facilities based on a 25-year, 2-hour event, therefore  $I = 0.66$  in/hr. The storm volume calculations are shown below.

EXISTING CONDITIONS	Area	C x A	Q	V 2hrs
	(ft <sup>2</sup> )	(ac)	(cfs)	(ft <sup>3</sup> )
Draining to Yellowstone Ave - Unimproved (C=0.20)	17500	0.0803	0.053	382
Street Area Draining North - Unimproved (C=0.20)	20280	0.0931	0.061	442

POST-DEVELOPMENT CONDITIONS	Area	C x A	Q	V 2hrs
	(ft <sup>2</sup> )	(ac)	(cfs)	(ft <sup>3</sup> )
Street Area Draining to Yellowstone Ave - (C=0.90)	3760	0.0777	0.051	369
Street Area Draining North - (C=0.90)	20280	0.4190	0.277	1991

Volume Greater Than (Less Than) Historic Draining to Yellowstone Ave **(13)**  
Volume Greater Than (Less Than) Historic Draining North to Percolation Area **1549**

The design of the street will result in a net reduction (-13 ft<sup>3</sup>) of the volume of runoff entering the highway right-of-way. The volume of runoff greater than historic (1549 ft<sup>3</sup>) for the runoff flowing north was calculated based on the footprint of the proposed street, curb and gutter, and sidewalk.

### Percolation Trench Summary

SCE has performed percolation tests throughout the city and designed numerous drainage facilities for developments in this area based on these tests, and the facilities all function satisfactorily. Percolation rates for the underlying gravel have been found to range from  $\frac{3}{8}$  inch per minute to greater than  $\frac{3}{4}$  inch per minute. Percolation trenches planned for this project will be constructed providing drainage directly into the cobble soils, and a conservative percolation rate of  $\frac{1}{4}$  inch per minute was used for calculations.

The percolation trench is proposed to be generally rectangular in shape (plan view), trapezoidal in cross-section with a bottom width of one foot and 1:2 side slopes. The trench will be excavated down to reach the cobble soils and backfilled with clean cobble to create the trapezoidal trench as described. To establish the bottom of the trench to an elevation below the outlet of the storm sewer pipe, the pit will be at least 3 feet deep, which is the depth used for the calculations. The percolation trench will provide storage and disposal volumes as shown in the table below, based on a trench length of 30 ft.

	Percolation Area	Storage Volume	Percolation Rate		Volume Percolated During Storm	Total Volume Disposed
	(ft <sup>2</sup> )	(ft <sup>3</sup> )	(in/minute)	(ft/sec)	(ft <sup>3</sup> )	(ft <sup>3</sup> )
Drainage Basin 1						
Perc Trench	390	0	0.25	0.000347	975	975
Detention Pond (Volume Above Trench)	0	630				630
Total Volume Disposed						<b>1605</b>

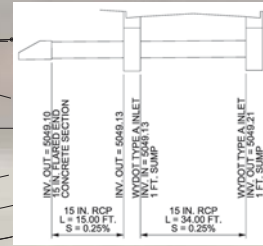
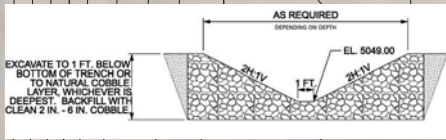
As shown, the percolation trench will dispose of a greater volume of runoff than generated during the design storm. In addition, it is anticipated this trench will also be used for disposing of storm water from Lot 1 when it is developed. The attached plan illustrates the amount of area available for storm water disposal from the various future drainage basins.

END OF REPORT



Approx. Total Length Available = 170 ft

30 ft



Lot 2

Lot 1

Blue area is the portion of Sunridge Street that will drain north to the inlets & percolation trench.

A = 20,280 sf

Lot 3

Green area is the portion of Sunridge Street that will drain back to Yellowstone Ave.

A = 3,760 sf

Area south of yellow line currently drains to Yellowstone Ave.

A = 17,500 sf

Storm Water Drainage Plan  
Khan Unit Development  
Tower West Holdings, LLC

Note: Existing Contours Shown





Mark Gordon  
Governor

# WYOMING Department of Transportation

"Provide a safe and effective transportation system"

2530 Beacon Hill Road / P.O. Box 278, Cody, Wyoming 82414



Darin J. Westby  
Interim Director

Mr. Dave Shultz  
Tower West Holdings LLC.  
631 Par Avenue  
Gillette WY,  
59714

July 26, 2023

RE: Access

Dear Mr. Shultz,

Your application to build a major access. Sunridge Lane, located in section 2 Township 52 North and Range 102 West on US 14/16/20 RM 50.015 LT has been approved for construction

Before you begin construction, please get a copy of your permit and attachments from our crew foreman Mr. James Berry at the Cody office in Cody WY, phone (307) 587-2220


After receiving your permit, please read them carefully and follow all guidelines, safety, and building specifications stated on the permit and any attached sheets. You or your representative, are requested to have a work schedule with the name and telephone number of the person in charge of the work to be done, after you begin construction, please complete all work as soon as possible to avoid unnecessary hazards in the highway right of way.

Please be advised that it is your responsibility to make sure that the work is done according to The Wyoming Department of Transportation's specifications stated on your permit and attachments. Upon completion of work, please contact James Berry for inspection of the approach so it can be accepted as a legal access to the State Highway System.

This permit shall become void if construction is not completed within 90 days after initiation of construction or one (1) year from approval date if construction has not been started.

Sincerely,

Pete Hallsten P.E.  
District Engineer

For the District Engineer   
Joseph Keele, Dist. Traffic Tech.

cc: James Berry Crew Leader WYDOT Cody.  
cc: Brian Pittman Area Supervisor WYDOT Basin.



## WYOMING DEPARTMENT OF TRANSPORTATION

## ACCESS PERMIT

<b>Permit Number:</b>		<b>PA-01Z-48577</b>	
<b>First Name:</b> Tower West Holdings		<b>Last Name:</b>	
<b>Approach Width:</b> 40		<b>Radius:</b> 25.5	
<b>Surface Type:</b> <input checked="" type="checkbox"/> Paved <input type="checkbox"/> Unpaved <input type="checkbox"/> Right of Way Ditch			
<b>Drainage Structure Required:</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		<b>Flared Ends:</b> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
<b>Diameter or Width:</b>		<b>Length:</b> Type:	
<b>Fore-Slope:</b> 8:1			
<b>Access Type:</b> Field <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Major <input checked="" type="checkbox"/>			
<b>Milepost:</b> 50.015 Right <input type="checkbox"/> Left <input checked="" type="checkbox"/>			
<b>Section:</b>	<b>Township:</b> 52 North	<b>Range:</b> 102 West	
<b>Highway Number:</b> US 14/16/20			
<b>Entrance Type:</b> Both <input checked="" type="checkbox"/>		<b>Side of Highway:</b> North	
<b>Latitude:</b>		<b>Longitude:</b>	
<b>MAINTENANCE DIVISION :</b>			
COMMENTS:			
Signature		Title	
Date			
<b>DISTRICT TRAFFIC ENGINEERING:</b>			
REQUIREMENTS / COMMENTS:			
<p>This permit (PA-01Z-48577) is for a Major Access. Sunridge Lane will be a city street.</p> <p>Four existing accesses (NP4429) RM 49.995 LT, (PA-01A-5621) RM 50.002 LT, (PA-01Z-14562) 50.016LT, (NP4431) 50.025 LT will be obliterated and replaced new sidewalk, curb and gutter.</p> <p>All new sidewalk shall meet ADA requirements.</p>			
Signature		Title	
Date		Date	
District Traffic Engineer		Date	




Permit Number: PA-01Z-48577

THIS ACCESS IS HEREBY GRANTED, WITHIN THE CONDITIONS STATED HEREIN.

- 1) To construct the access in a safe manner so as not to interfere with existing authorized facilities previously permitted nor endanger public travel and to perform all related work in a neat and workman like manner, to use materials acceptable to the Wyoming Department of Transportation and leave the right-of-way clean and in a condition equal to or better than the original condition.
- 2) To fully protect any traffic on the highway during construction covered hereunder by proper barricades, flaggers, and/or signs as shown in the TRAFFIC CONTROL FOR ROADWAY WORK OPERATIONS manual.
- 3) That no access shall be constructed such that there will be parking or servicing of vehicles within the highway right-of-way.
- 4) That the profile grade of the access shall be constructed as indicated on attached sketch or plan sheet(s) and shall in no case be graded or maintained in such a way that water/mud will run out onto the highway surface.
- 5) That this permit shall become VOID if construction is not completed within 90 days after initiation of construction or one (1) year from approval date if construction has not been started.
- 6) That any change in access use or change in business type will nullify this access permit and a new application must be submitted for approval.
- 7) That the Wyoming Department of Transportation reserves the right to inspect this installation at any time during construction until accepted by the Department, and to require changes at any time necessary to provide protection of life and property on or adjacent to the highway. Once the access has been accepted by the Department it then becomes the property of the Wyoming Department of Transportation and theirs to maintain and repair except for snow or debris removal.
- 8) To any additional requirements as described in the DISTRICT MAINTENANCE/TRAFFIC ENGINEERING, REQUIREMENTS/COMMENTS sections on this permit, and/or any on attached sketch or plan sheets.
- 9) The applicant shall hold harmless the Transportation Commission of Wyoming, Wyoming Department of Transportation, and its appointed agents and employees against any action for personal injury or property damage sustained through use of this permit.

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**APPROVAL FOR CONSTRUCTION:**

 _____ <i>Signature</i>	District Traffic Engineer _____ (District Engineer / District Traffic Engineer)	Jul 25, 2023 _____ <i>Date</i>
------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------	--------------------------------------

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**CONSTRUCTION INSPECTED (MAINTENANCE):**

I have inspected this access and have found the access to have been constructed as per the requirements described by this permit.

_____ <i>Signature</i>	_____ <i>Title</i>	_____ <i>Date</i>
---------------------------	-----------------------	----------------------

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**ACCESS ACCEPTANCE:**

District personnel have inspected this access described on this permit and attached drawing(s) and have found the access to be constructed in the manner as prescribed on this permit and attached drawing(s).

_____ <i>Signature</i>	_____ (District Engineer / District Traffic Engineer)	_____ <i>Date</i>
---------------------------	----------------------------------------------------------	----------------------

references: OPERATING POLICY 21-1 and RULES & REGULATIONS FOR ACCESS FACILITIES TO WYOMING STATE HIGHWAYS.

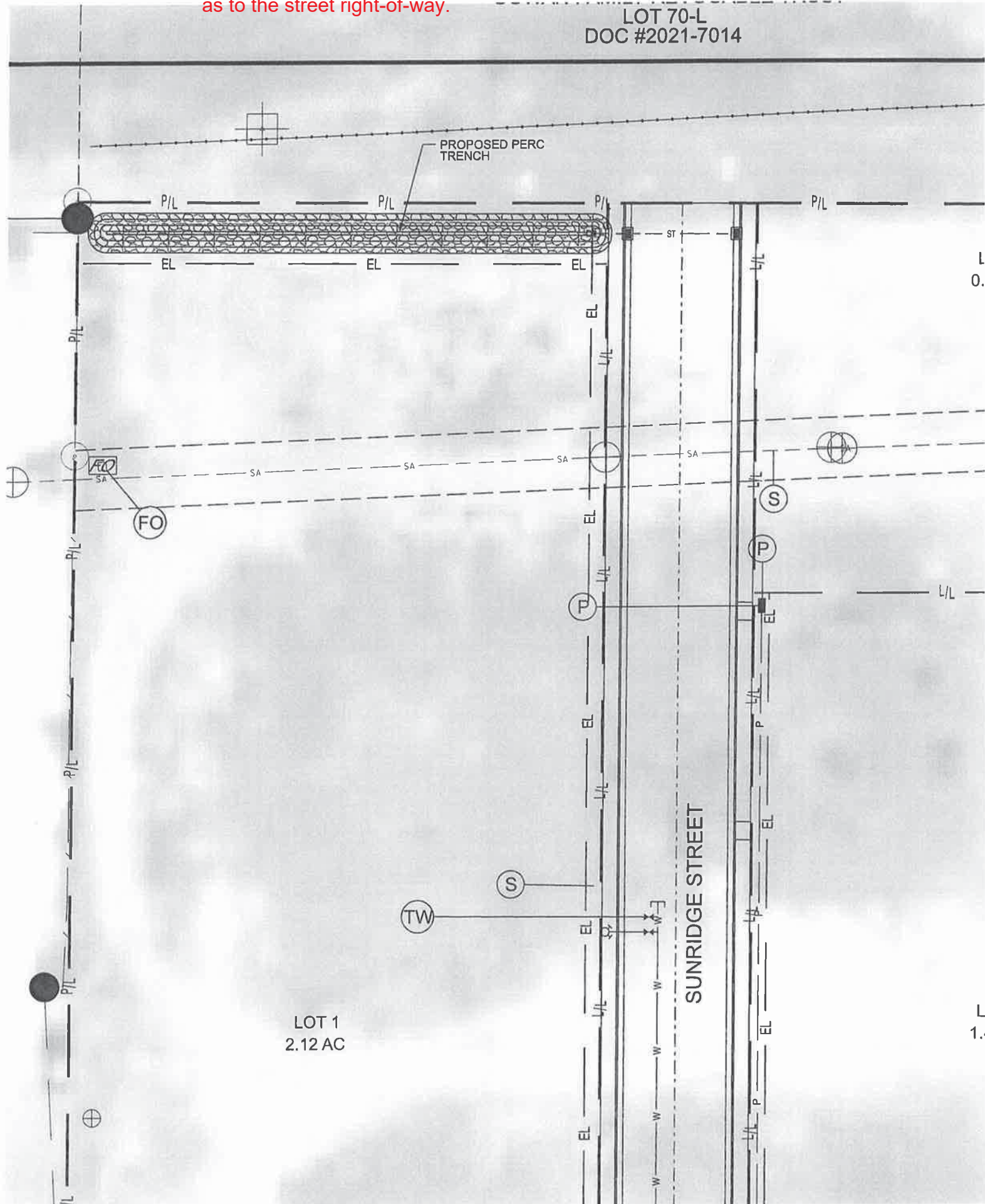


## Wyoming Department of Transportation Access Application

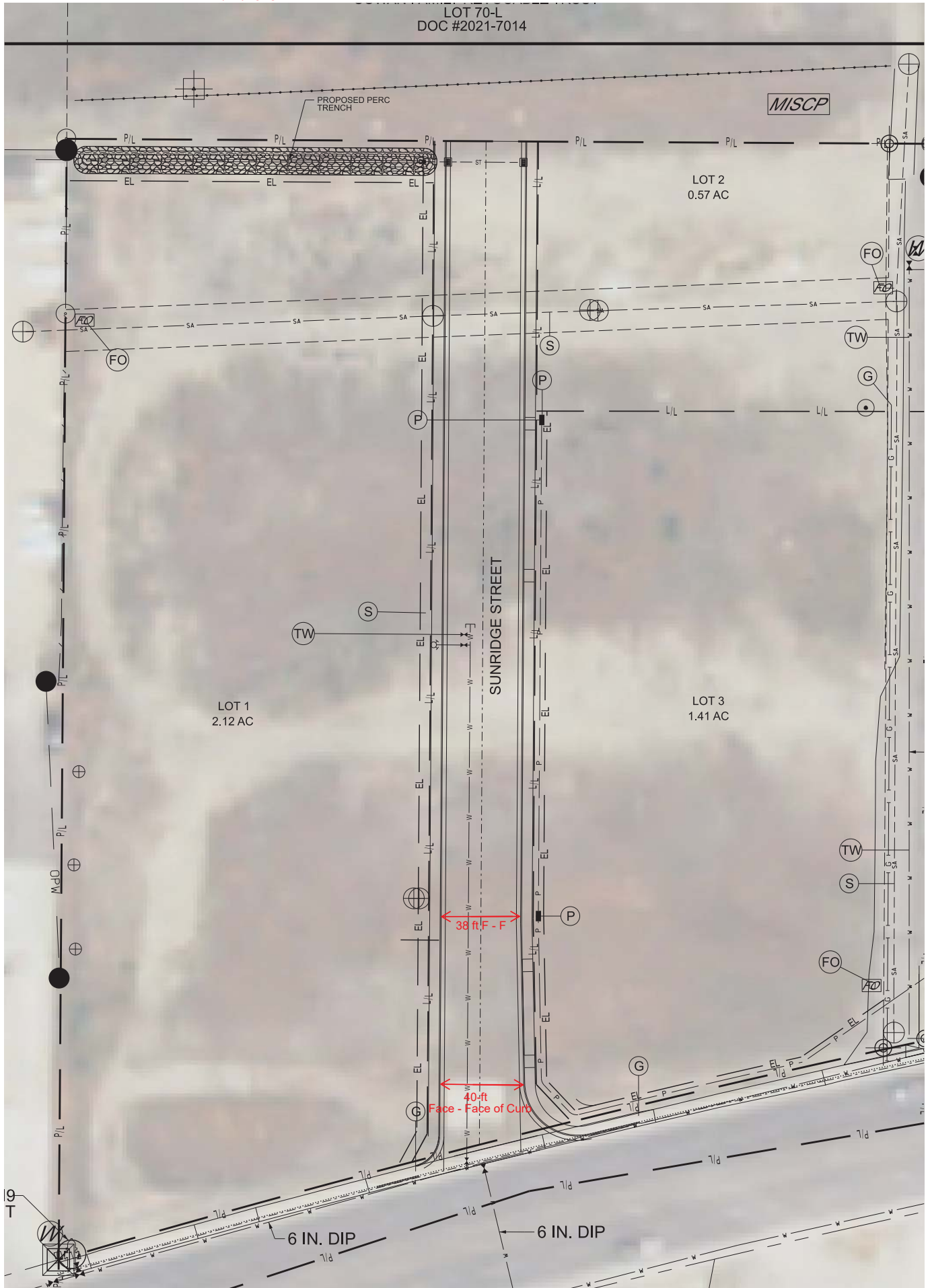
Permit # PA-012-14562  
For WYDOT Use Only

Property Owner (Permittee) Tower West Holdings, LLC				Applicant or Agent (if different from Property Owner)			
Business (if applicable)				Business (if applicable)			
Mailing Address 631 Par Avenue				Mailing Address Same			
City Gillette				City Same			
State WY		Zip Code 82718		State Same		Zip Code Same	
Phone Number 307-689-0748				Phone Number Same			
E-mail Address aftabk@hotmail.com				E-mail Address Same			
Property Address of Requested Access (if known) 203 Yellowstone Avenue; Cody, WY 82414							
Located on Highway Highway 14-16-20				Side of Highway <input checked="" type="checkbox"/> N <input type="checkbox"/> S <input type="checkbox"/> E <input type="checkbox"/> W			
Approximately 930 feet/mile (circle: N S <u>E</u> W ) from Milepost/Intersection				Highway 291			
Legal Description							
County Park	Subdivision	Block	Lot 70	Section	Township 52N	Range 102W	
Access requested							
<input checked="" type="checkbox"/> New Access <input type="checkbox"/> Temporary Access <input type="checkbox"/> Change in Access Use <input type="checkbox"/> Removal of Access							
Check appropriate box if requesting a new access or change in access use.							
<input checked="" type="checkbox"/> Major <input type="checkbox"/> Commercial <input type="checkbox"/> Residential <input type="checkbox"/> Field							
Does the property owner own or have any interests in the adjacent property?						<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	
If yes, please describe: N/A							
Are there other existing or dedicated public streets, roads, highways or access easements bordering or within the property? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes      If yes, list them on your plans and indicate the proposed and existing access points							
I, the undersigned property owner, request permission to construct an access driveway on Wyoming Department of Transportation right of-way at the above property, subject to the rules and regulations contained in the " Rules and Regulations, General Section, Chapter 13, Access Facilities, approved by the Transportation Commission of Wyoming and promulgated by authority of W.S. 24-2-105 and W.S. 24-6-101 through W.S. 24-6-111 to administer access facilities on the state highway system".							
If an access permit is issued to you, <u>the applicant agrees to the terms and conditions as stated in the permit.</u>							
Applicant or Agent Signature for Permittee						Date	
Applications for access permits will be accepted only from an individual(s), partnerships, corporations, or other bodies recognized by law as owning all or the major interest in the property or by a party having an easement through the property abutting the highway right of-way or proposed highway.							

LOT 70-L  
DOC #2021-7014







**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	AUGUST 22, 2023	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	SITE PLAN REVIEW: 501 STONE STREET. SPR 2023-26	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

Kip Thiel Construction, representing Phil Better in Wyoming, LLC has submitted a site plan application to develop a new 3,780 square foot shop/office facility at 501 Stone Street. The property is located in the Open Business/Light industrial (D-3) zoning district, which permits light manufacturing/product development uses such as this proposal. The proposed site plan and building elevations are attached.

**REVIEW CRITERIA:**

Section 10-10C-5 of the zoning regulations states:

*All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.*



Section 9-2-3 is as follows:

*Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.*

In addition, the site plan is reviewed for compliance with specific development standards of the zoning ordinance.



**STAFF COMMENTS:**

**Architecture:**

The building elevations are depicted below.



The walls are of metal "board and batten" style, with a wainscot of metal horizontal siding. The roof is a standing seam metal, in dark gray. Trim color is black.

The variety of textures and colors, as well as the front covered walkway and moderate use of glazing results in an architectural style found in neighboring light industrial use buildings.

**Landscaping:**

The landscaping plan is attached. It is composed of two trees and intermediate clumps of bunch grass in a rock mulch groundcover. Drip irrigation is proposed. The method is becoming rather common, and is sufficient to meet the landscaping requirement. It is noted that the property is not within the entryway corridor overlay, which has a 5% landscaping requirement.

### Fencing:

A black metal slat fence is proposed between the north side of the building and the north property line. The height is not indicated, but the fence regulations allow up to seven feet tall.

### Access/Parking:

The proposed access layout is coordinated to meet the needs of this first phase of development, while hopefully meeting the needs of the future development on the balance of the property.

The approach and parking lot is proposed to be paved. The dimensions of the stalls and aisles meet the minimum requirements. Parking blocks and ADA signage are shown as required. The ADA parking space complies with the maximum slope requirements.

The civil site plan shows four parking spaces. The architectural plan shows another three at the west end of the parking lot. Based on the ratio of one space per 1,100 square feet of floor area for general light industrial buildings, four spaces are required—one of which must be ADA. The minimum number of spaces recommended by the parking ordinance is shown.

### Exterior Lighting

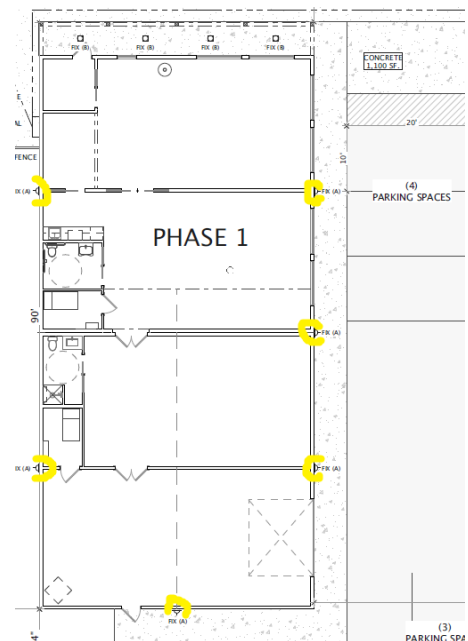
Exterior lighting is proposed in the form of can lights in the soffit of the front entry and wall packs around the perimeter. The wall packs are 25-watt, full cutoff style. The parking lot area to the south of the building will be well lit—perhaps on the upper end of the amount needed. The wall pack on the west side provides lighting to the garage person entry. The purpose of the two wall packs on the north side of the building is not understood, as there are no doors or usage of that area proposed. Staff would suggest that the applicant either have those lights switched so that they are on only when necessary, or eliminated, but such suggestion is not mandatory.

The wall packs are proposed to be located as shown below (yellow highlight).

The lighting specifications indicate a proposed color temperature of 4,000K. The fixtures are made to be pointed straight down, or at an angle. To maintain the full-cut-off, they need to be pointed straight down.



Adjustable Wall Pack 0° angle



### Neighborhood Compatibility, Setbacks and Buffers

The location of the property does not trigger any zoning setbacks or buffer requirements, as it is not next to any residential property.

### Grading/Storm Water Plan:

The grading and stormwater plan has been prepared by a professional engineer and meets minimum requirements. In brief, the parking area is designed to collect water in a valley gutter and direct it to an infiltration swale. In order to minimize icing issues on the sidewalk along the south side of the building, a gutter will need to be installed on the building to carry the water to the southeast corner of the building, where a downspout can direct it to the infiltration swale.

### Snow Storage

The snow storage area is shown on the architect's site plan as being off the west end of the parking lot. If so, the area should be graded as a shallow swale to allow infiltration where it the snow pile sits.

### Utility Services

The connection locations for sewer, water, and natural gas are shown appropriately on the site plan. For the water connection, there will need to be a tap made to the existing 4" line that is stubbed into the property. Coordinate with Public Works. Applicable utility fees will need to be paid with the building permit.

The sewer line will need cleanouts so that no portion of pipe is more than 100 feet long. The appropriate locations appear to be immediately outside of the building, and at the connection to the existing sewer stub.

For the electrical service, a new transformer is needed. The easiest configuration would be to place it behind the existing box on the Sherwin Williams property to the north, but this would require an easement from them. Alternatively, it can be placed on the Phil Better in Wyoming property in an existing easement. The owner and contractor will need to coordinate further with the electric division. The owner is responsible for payment of the City's electrical estimate for materials needed to provide service to the project.

### Signs

No signs are proposed at this time.

### Hydrant

A fire hydrant is near the middle of the frontage of this property, which meets requirements.

### Garbage

The dumpster location is shown to the south of the parking area. It is shown sufficiently

far from the street to minimize visual impacts.

#### Flag Pole

The site plan shows a 35-foot tall flag pole in the front landscape area. The City code limits flag poles to 25 feet (see 10-15-6(A)(2)). The plans should be corrected to show the change.

#### **ATTACHMENTS:**

Application materials—site plan, elevation drawings, floor plan.

#### **ALTERNATIVES:**

Approve or deny the site plan with or without changes.

#### **RECOMMENDATION:**

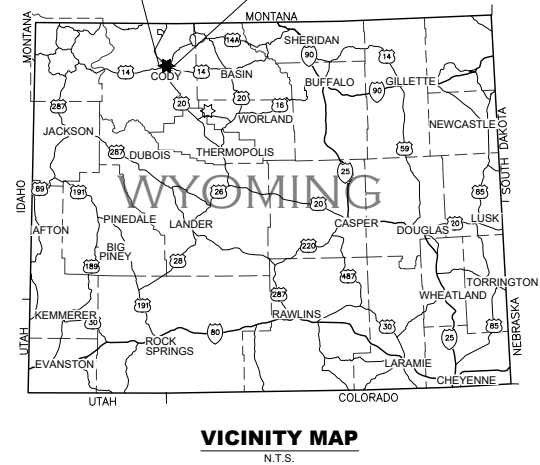
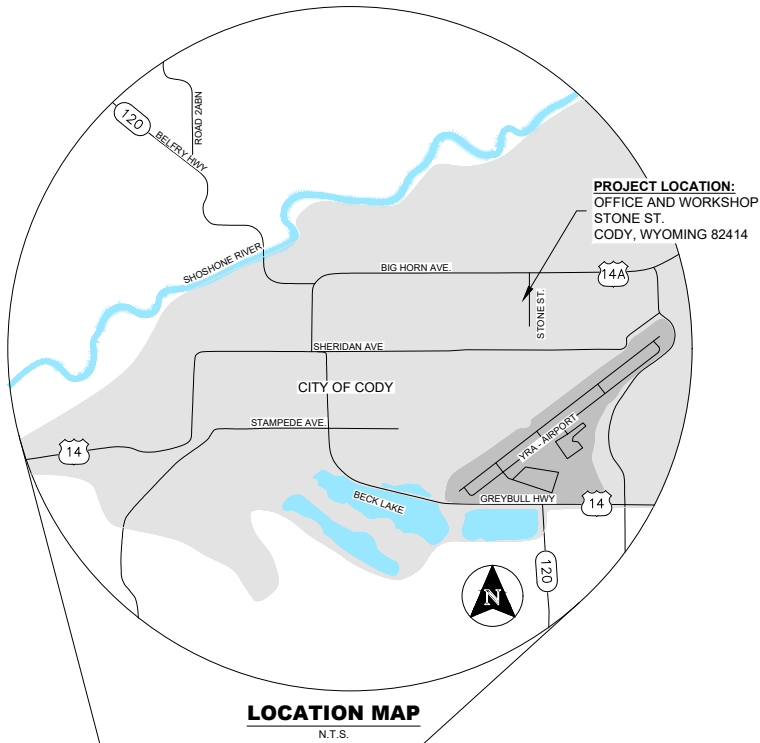
It is recommended that the Planning and Zoning Board approve the proposal, subject to the following conditions.

1. Coordinate the transformer location with the electric division. Provide additional easement if necessary for the transformer location.
2. Mount the wall packs to point directly down.
3. Pay the applicable utility connection fees and electrical estimate with the building permit. Coordinate installation, including the options for tapping the 4" water line, with Public Works.
4. Add cleanouts to the sewer service line to meet plumbing code.
5. Install a gutter along the south side of the building to carry water to a downspout at the southeast corner.
6. The plans are not clear if the cub, gutter and sidewalk are being removed and replaced for the entrance. If they are removed, they are to be replaced to City standards, which will be verified through the encroachment permit process. Any work in the right-of-way will require an encroachment permit.
7. Upon completion, the storm water facilities must be inspected and certified by the applicant's engineer that they were completed according to the approved plans or equivalent, prior to building occupancy.
8. The project must otherwise comply with the project description, as described in the application and at the Planning and Zoning Board meeting. A building permit must be obtained within three years or this authorization will expire.

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K:\23047060\_CADD\SHEETS\1 COVER.DWG, 8/6/2023

STONE STREET OFFICE AND WORKSHOP  
CODY, WYOMING 82414  
AUGUST 2023



NOTICE TO CONTRACTORS

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD THE STATE OF WYOMING, WYOMING GAME AND FISH DEPARTMENT, AND THE DESIGN CONSULTANT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.

UNAUTHORIZED CHANGES & USES: THE DESIGN CONSULTANT PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.



SHEET INDEX	
SHEET #	SHEET TITLE
1	COVER
2	EXISTING CONDITIONS AND DEMOLITION SHEET
3	SITE UTILITY PLAN
4	GRADING PLAN
5	ADA DETAILS
6	CONCRETE & FLAT SURFACE DETAILS
7	UTILITY DETAILS



NO.	1	REVISIONS DESCRIPTION REVISION #1	DATE	BORDER SIZE
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				DESIGNED
				GB
				DRAWN
			TI	
			CHECKED	
			GB	
			APPROVED	
			GR	



CONSTRUCTION DRAWINGS FOR:  
STONE STREET OFFICE AND WORKSHOP  
COVER

ATTENTION:  
0 1/2 1  
IF THIS BAR DOES NOT MEASURE  
1" ON 22x34 SHEET or 1/2" ON  
11x17 SHEET, THEN DRAWING IS  
NOT TO SCALE.

DATE: August 9, 2023  
PROJECT: 230470  
SHEET:

1 OF 7

PRELIMINARY  
NOT FOR CONSTRUCTION





GENERAL NOTES

- ALL EXISTING UTILITIES SHOWN HERE-IN ARE THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED NOR SHALL IT BE CONSIDERED COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THEM DURING CONSTRUCTION. THE CONTRACTOR SHALL CALL "ONE CALL OF WYOMING" 1-800-849-2476 AT LEAST 48 HOURS PRIOR TO DIGGING.
- ALL UTILITIES ARE TO BE PROTECTED IN PLACE.

LEGEND

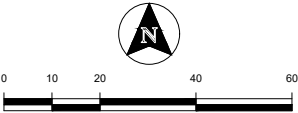
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- EXISTING EDGE OF CONCRETE
- EXISTING FLOW LINE
- EXISTING FENCE
- EXISTING SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VAVLE
- EXISTING TELEPHONE RISER
- EXISTING STORM INLET
- EXISTING STREET LIGHT
- EXISTING GAS LINE
- EXISTING UNDERGROUND POWER
- EXISTING TREATED WATER
- EXISTING COMMUNICATION LINE
- EXISTING SANITARY SEWER
- EXISTING CONCRETE

COORDINATE SYSTEM

COORDINATE SYSTEM IS WYOMING STATE PLANE COORDINATE SYSTEM, WEST CENTRAL ZONE, GEOID 99.  
DATUM: NAD 83(2011)  
UNITS: U.S. SURVEY FEET  
COMBINED SCALE FACTOR (GRID TO GROUND): 1.0002385483

PROJECT CONTROL

POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
1				
2				
3				



BORDER SIZE	22"x34"
DESIGNED	GB
DRAWN	GB
CHECKED	TI
APPROVED	GB
DATE	5/31/2023
REVISIONS	
DESCRIPTION	
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NO.	1

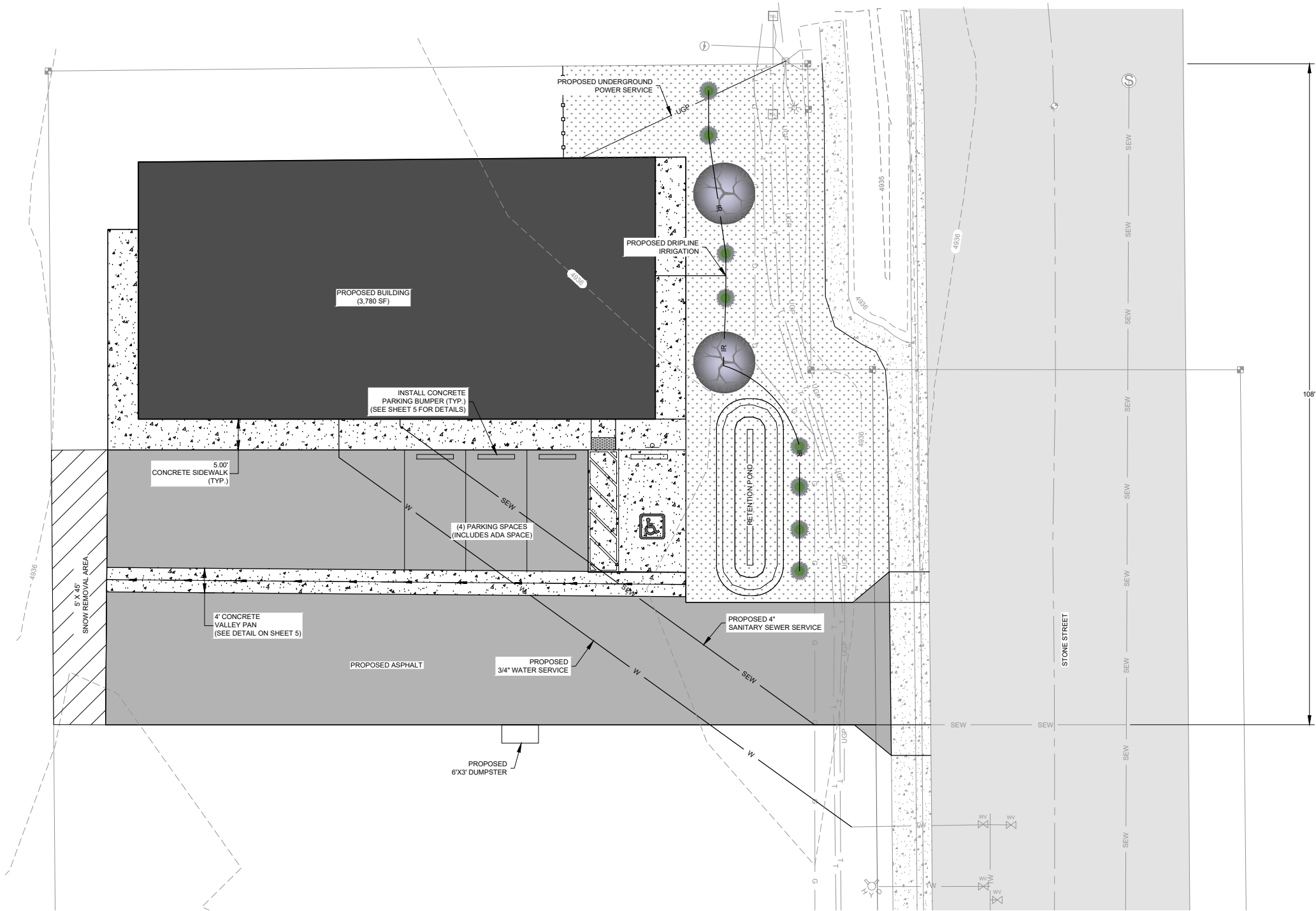


CONSTRUCTION DRAWINGS FOR:  
STONE STREET OFFICE AND WORKSHOP  
EXISTING CONDITIONS AND DEMOLITION SHEET

ATTENTION: 1/2" = 1'  
IF THIS BAR DOES NOT MEASURE  
1" ON 22x34 SHEET or 1/2" ON  
11x17 SHEET, THEN DRAWING IS  
NOT TO SCALE.

DATE: August 9, 2023  
PROJECT: 230470  
SHEET:





## GENERAL NOTES

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## LEGEND

	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	EXISTING EDGE OF CONCRETE
	EXISTING FLOW LINE
	EXISTING FENCE
	EXISTING SEWER MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING TELEPHONE RISER
	EXISTING STORM INLET
	EXISTING STREET LIGHT
	EXISTING GAS LINE
	EXISTING UNDERGROUND POWER
	EXISTING TREATED WATER
	EXISTING COMMUNICATION LINE
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CONCRETE
	PROPOSED BUILDING
	PROPOSED PAVEMENT
	PROPOSED LANDSCAPING ROCK / MULCH
	PROPOSED BUNCH GRASS
	PROPOSED TREE
	PROPOSED FLOWLINE
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED UNDERGROUND POWER
	PROPOSED DRIP IRRIGATION

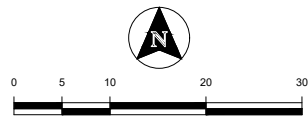


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		APPROVED		GB
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		DESCRIPTION		
		REVISION #1		
NO.	1			





















CONSTRUCTION DRAWINGS FOR:  
STONE STREET OFFICE AND WORKSHOP  
SITE UTILITY PLAN

ATTENTION:	1/2"	1"
IF THIS BAR DOES NOT MEASURE 1" ON 22x34 SHEET or 1/2" ON 11x17 SHEET, THEN DRAWING IS NOT TO SCALE.		
DATE:	August 9, 2023	
PROJECT:	230470	
SHEET:	3 OF 7	



## LEGEND

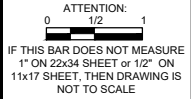
1. ALL EXISTING UTILITIES SHOWN HERE-IN ARE THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED NOR SHALL IT BE CONSIDERED COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THEM DURING CONSTRUCTION. THE CONTRACTOR SHALL CALL "ONE CALL OF WYOMING" 1-800-849-2476 AT LEAST 48 HOURS PRIOR TO DIGGING.
2. ALL UTILITIES ARE TO BE PROTECTED IN PLACE.

	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	EXISTING EDGE OF CONCRETE
	EXISTING FLOW LINE
	EXISTING FENCE
	EXISTING SEWER MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING TELEPHONE RISER
	EXISTING STORM INLET
	EXISTING STREET LIGHT
	EXISTING GAS LINE
	EXISTING UNDERGROUND POWER
	EXISTING TREATED WATER
	EXISTING COMMUNICATION LINE
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CONCRETE
	PROPOSED FLOWLINE

NO.		REVISONS		BORDER SIZE	
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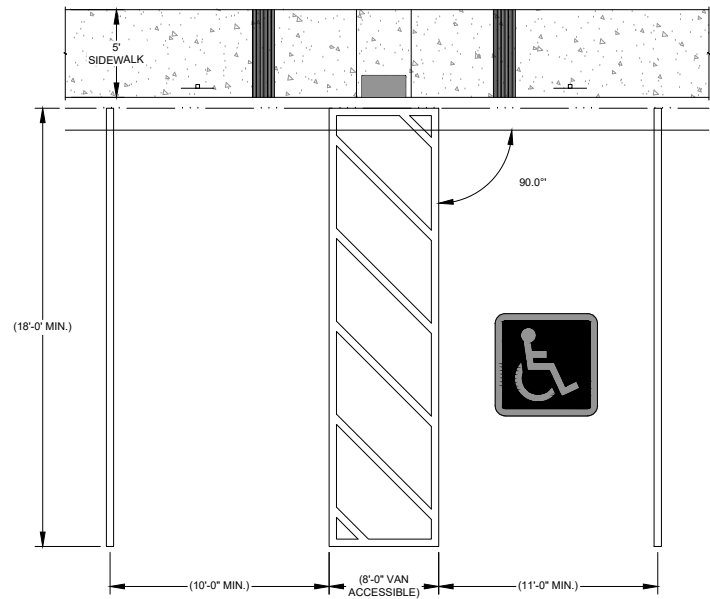


CONSTRUCTION DRAWINGS FOR:  
STONE STREET OFFICE AND WORKSHOP  
GRADING PLAN



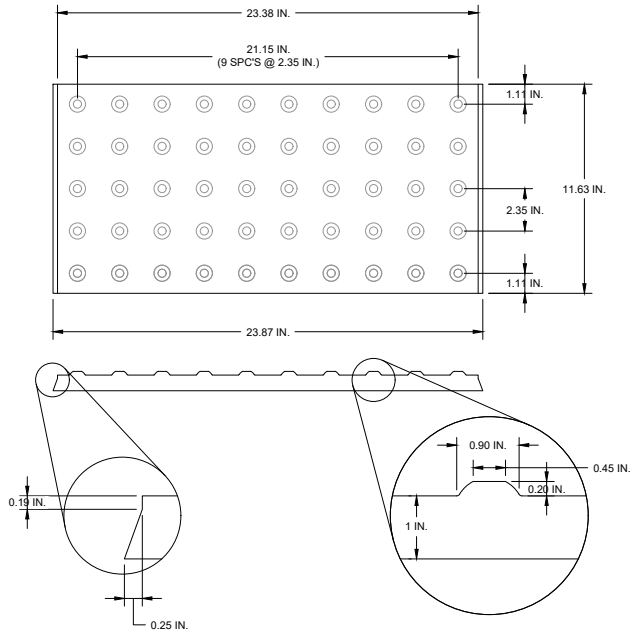
DATE:	August 9, 2023
PROJECT:	230470
SHEET:	

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ADA PARKING LAYOUT DETAIL

N.T.S. 1

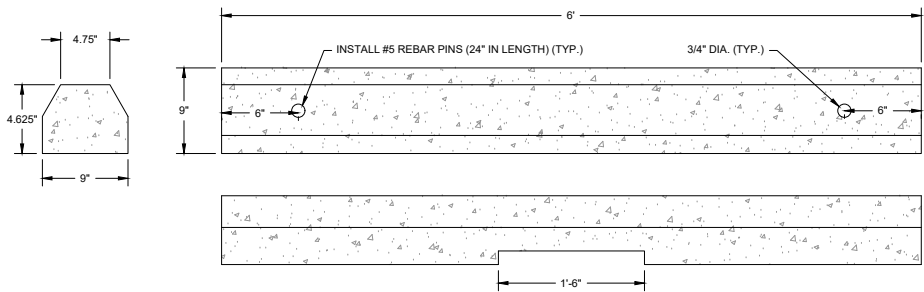


NOTES:

1. PLACE TRUNCATED DOME DETECTABLE WARNING PANELS AT THE BASE OF CURB RAMP. INSTALL ACROSS FULL WIDTH OF RAMP A MINIMUM 24 IN. IN DEPTH AND SET BACK 8 IN. FROM BOTTOM OF CURB.
2. SIDEWALK CURB RAMP SLOPES SHOWN ARE RELATIVE TO THE TRUE LEVEL HORIZON (ZERO BUBBLE).
3. IN ALTERATIONS CURB RAMP SLOPE(S) MAY BE 10% FOR A MAXIMUM RISE OF 6 IN. OR 12.5% FOR MAXIMUM RISE OF 3 IN.. CURB RAMP, IN ALTERATIONS, NEED NOT EXCEED 6 FT. IN LENGTH.
4. SIDE FLARES THAT ARE NOT PART OF THE PATH OF TRAVEL MAY BE ANY SLOPE.
5. FOR THE PURPOSE OF THIS DRAWING, A CURB RAMP IS CONSIDERED "PERPENDICULAR" IF THE ANGLE BETWEEN THE LONGITUDINAL AXIS OF THE RAMP AND A TANGENT TO THE CURB AT THE RAMP CENTER IS 75 DEGREES OR GREATER.
6. TOOLED JOINTS ARE REQUIRED AT ALL SIDEWALK RAMP SLOPE BREAKS.
7. SIDEWALK FLARE IN NOT NECESSARY WHERE THE RAMP IS PROTECTED FROM THE PEDESTRIAN CROSS-TRAVEL.
8. THICKEN CONCRETE UNDER DETECTABLE WARNING PANEL.
9. IN FREEZE THAW ZONES, LEAVE 0.188 IN. GAP IN BETWEEN PANELS AND SEAL WITH SIKAFLEX 1A SEALANT.

TRUNCATED DOME DETAIL

N.T.S. 2

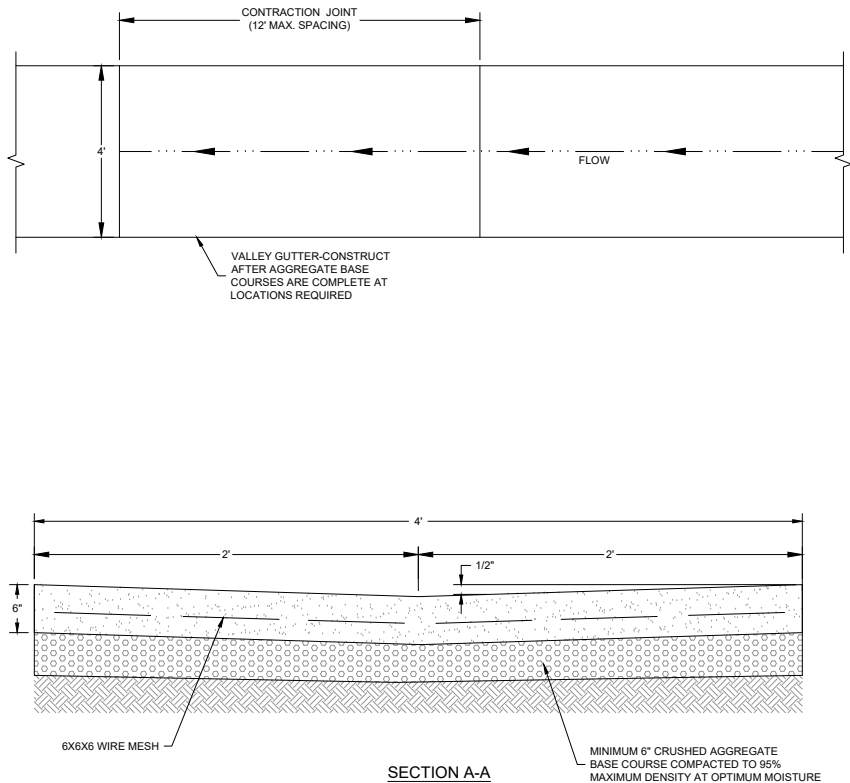


NOTES:

1. CONCRETE PARKING BUMPERS ARE TO BE PAINTED YELLOW WITH WYDOT APPROVED PAINT.

CONCRETE PARKING BUMPER DETAIL

N.T.S. 3



NOTE:

FIBER REINFORCED CONCRETE OR #3 BARS @ 12" ON CENTER EACH WAY MAY BE SUBSTITUTED FOR WELDED WIRE FABRIC UP WRITTEN APPROVAL OF ENGINEER.

VALLEY GUTTER DETAIL

N.T.S. 4



BORDER SIZE	22"x34"	DESIGNED	GB	DRAWN	TI	CHECKED	GB	APPROVED	GB
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REVISIONS									
DESCRIPTION									
REVISION #1									
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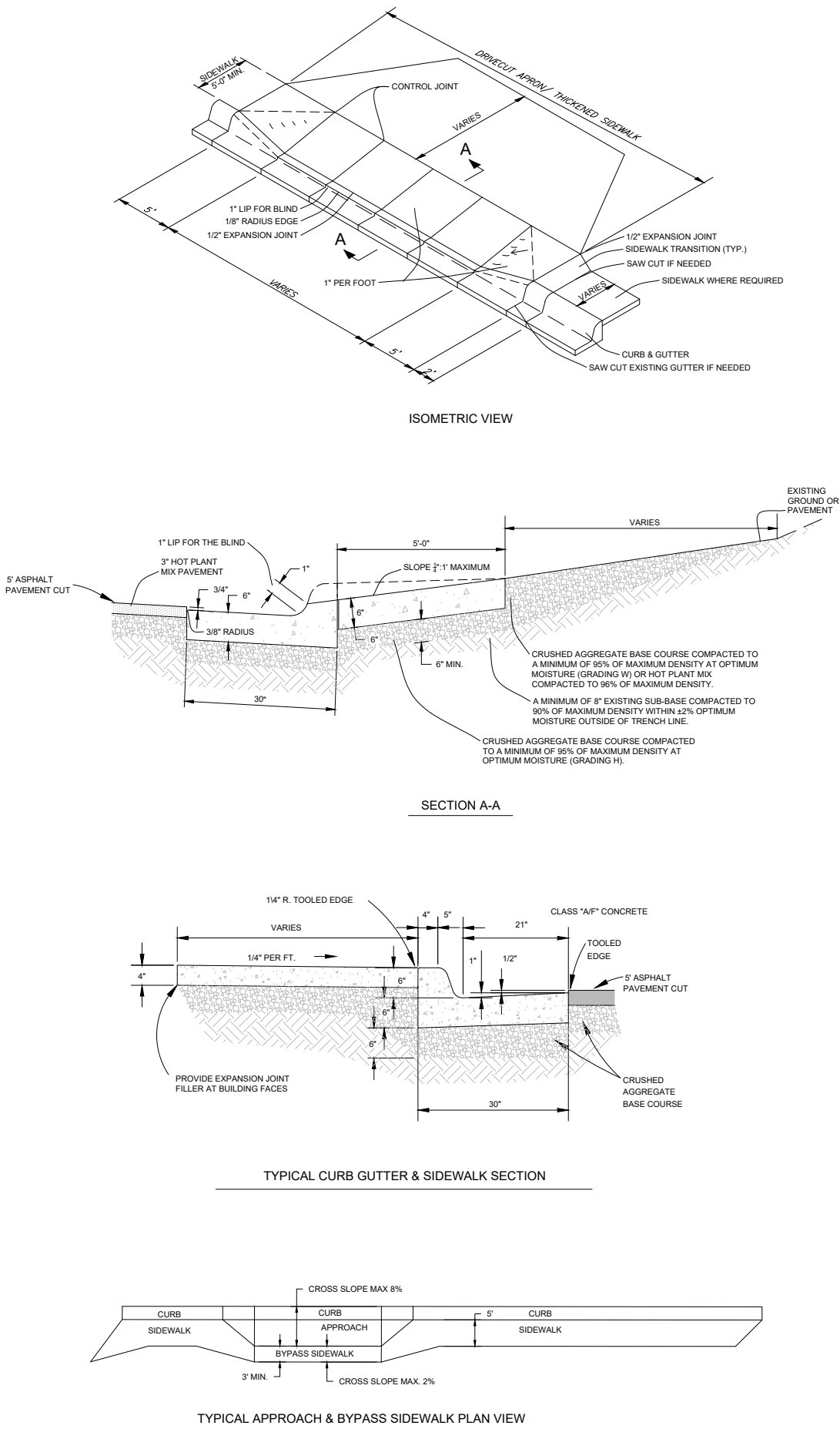


CONSTRUCTION DRAWINGS FOR:  
STONE STREET OFFICE AND WORKSHOP  
ADA DETAILS

ATTENTION:	0 1/2 1
IF THIS BAR DOES NOT MEASURE 1" ON 22x34 SHEET or 1/2" ON 11x17 SHEET, THEN DRAWING IS NOT TO SCALE.	
DATE:	August 9, 2023
PROJECT:	230470
SHEET:	

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K:\23047000\_CADD\SHEETS\1 UTILITY DETAILS.DWG, 8/8/2023



#### CODY MATERIAL SPECIFICATIONS

- ALL SUBBASES AND BASE COURSES SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE AS DETERMINED IN ACCORDANCE WITH AASHTO 180.
- CRUSHED BASE COURSE
  - THE MATERIAL PRODUCED SHALL BE UNIFORMLY GRADED COARSE TO FINE AND SHALL NOT VARY FROM THE HIGH LIMIT ON ONE SIEVE TO THE LOW LIMIT ON AN ADJACENT SIEVE OR VICE VERSA.
  - THE PERCENTAGE PASSING THE NO. 200 SIEVE SHALL NOT EXCEED ONE HALF OF THE PERCENTAGE PASSING THE NO. 40 SIEVE.
  - THE MATERIAL PASSING THE NO. 40 SIEVE SHALL HAVE A LIQUID LIMIT NOT GREATER THAN 25 AND A PLASTICITY INDEX NOT GREATER THAN 6, EXCEPT WHEN THE PLASTICITY INDEX IS 0 (ZERO), THE LIQUID LIMIT SHALL NOT EXCEED 30.
  - ALL CRUSHED BASE COURSE MATERIAL SHALL MEET THE FOLLOWING GRADATION WHEN TESTED IN ACCORDANCE WITH AASHTO T-27 & T-11:

SIEVE	% PASSING
1"	100
3/4"	90-100
1/2"	60-85
No. 4	45-65
No. 8	33-53
No. 200	3-12
- AGGREGATE FOR HOT PLANT PAVEMENT MIX : IN ACCORDANCE WITH WYOMING TRANSPORTATION DEPARTMENT STANDARD SPECIFICATIONS-LATEST EDITION.
  - FOR COMPACTED THICKNESSES 3" OR LESS, USE WYDOT 1/2-INCH MAXIMUM AGGREGATE.
  - FOR COMPACTED THICKNESSES GREATER THAN 3", USE WYDOT 3/4-INCH MAXIMUM AGGREGATE FOR FIRST LIFT. SECOND LIFT SHALL BE A MINIMUM COMPACTED THICKNESS OF 1-1/2 INCHES, 1/2-INCH MAXIMUM AGGREGATE.
  - MINERAL FILLER: FINELY GROUND PARTICLES OF LIMESTONE, HYDRATED LIME OR OTHER MINERAL DUST, FREE OF FOREIGN MATTER.
- PRIMER: A CUT-BACK LIQUID ASPHALT OF THE MEDIUM CURING TYPE, GRADE, C-70, AND SHALL COMPLY WITH THE REQUIREMENTS OF ASTM D2027. BITUMINOUS HOT MIX PAVEMENT SHALL BE APPROVED BY THE CITY ENGINEER BEFORE ANY WORK MAY.
- TACK COAT: A CATIONIC SLOW SET EMULSIFIED ASPHALT MIXED WITH A N EQUAL AMOUNT OF WATER, GRADE CSS-1H, AND SHALL COMPLY WITH THE REQUIREMENTS OF ASTM D244. OTHER GRADES OF EMULSIFIED ASPHALT WILL BE CONSIDERED TESTING OR EXPERIENCE THAT ANOTHER GRADE IS MORE SUITABLE.
- MIX DESIGN: A COMPLETE MIX DESIGN MEETING THE REQUIREMENTS OF AIMS-2 COMPLETED WITHIN THE LAST 24 MONTHS FOR THE SPECIFIC MATERIALS TO BE USED SHALL BE SUBMITTED FOR APPROVAL PRIOR TO BEGINNING WORK. AIMS-2 ESTABLISHES THE FOLLOWING REQUIREMENTS FOR THE ASPHALT CEMENT CONCRETE FOR A MEDIUM TRAFFIC VOLUME:

STABILITY (LB, MINIMUM)	1200
FLOW, (0.01 IN.)	8 TO 16
PERCENT AIR VOIDS (%)	3 TO 5
VOIDS IN MINERAL AGGREGATE (% MINIMUM)	15
- CONCRETE SPECIFICATIONS
  - CEMENT SHALL BE PORTLAND CEMENT, TYPE II CONFORMING TO THE REQUIREMENTS OF ASTM C-150 ( IF SPECIAL CONDITIONS WARRANT IT, THE USE OF A DIFFERENT TYPE OF CEMENT MAY BE APPROVED BY THE CITY ENGINEER ).
  - AGGREGATE GENERAL- GRAVEL, CRUSHED SLAG, CRUSHED STONE, OR OTHER INERT MATERIALS, COMPOSED OF HARD, STRONG, DURABLE PARTICLES FREE OF INJURIOUS COATINGS.
  - FINE AGGREGATE
    - THE MAXIMUM PERCENTAGE OF DELETERIOUS SUBSTANCES SHALL NOT EXCEED THE FOLLOWING PERCENTAGES BY WEIGHT:

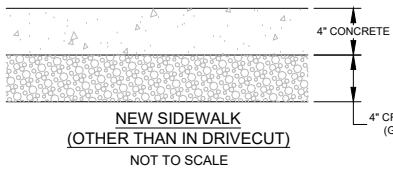
	%
COAL AND LIGNITE	3%
CLAY LUMPS	.5%
OTHER DELETERIOUS SUBSTANCES	2.0%
    - WHEN TESTED IN ACCORDANCE WITH THE LOS ANGELES RATTLER METHOD, THE COARSE AGGREGATE SHALL NOT SHOW A WEAR IN EXCESS OF 40%.
    - THE FINE AGGREGATE SHALL BE FREE FROM INJURIOUS AMOUNTS OF ORGANIC IMPURITIES.
  - COARSE AGGREGATE
    - THE MAXIMUM PERCENTAGES OF DELETERIOUS SUBSTANCES SHALL NOT EXCEED THE FOLLOWING PERCENTAGES BY WEIGHT:

	%
SOFT FRAGMENTS:	1%
COAL AND LIGNITE	0.3%
CLAY LUMPS	0.3%
OTHER DELETERIOUS SUBSTANCES	2.0%
    - THE COARSE AGGREGATE SHALL BE GRADED COARSE TO FINE MEETING THE FOLLOWING GRADATION:

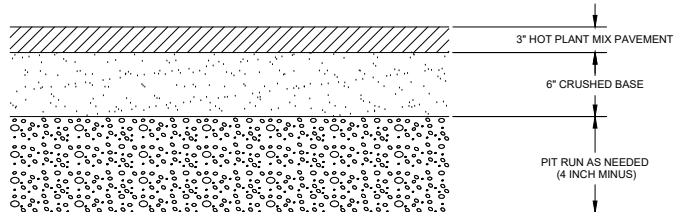
SIEVE	% PASSING
3/8"	100
No. 4	95-100
No. 16	45-80
No. 50	10-30
No. 100	2-10
No. 200	0-4
    - THE AGGREGATE SHALL BE GRADED COARSE TO FINE MEETING THE FOLLOWING GRADATION:

SIEVE	% PASSING
1 1/2"	100
1"	95-100
1/2"	25-80
No. 4	0-10
No. 8	0-5
No. 200	0-2
  - AD MIXTURES AND AIR-ENTRAINING AGENTS SHALL BE APPROVED BY THE ENGINEER AS RECOMMENDED WITHIN THE REQUIRED MIX DESIGN AS PREPARED BY A QUALIFIED TESTING LABORATORY.
  - ALL CONCRETE PLACED SHALL HAVE A SLUMP OF BETWEEN 1" AND 4" WHEN TESTED IN ACCORDANCE WITH AASHTO T-119. WITH ALL APPLICABLE ASTM STANDARDS: LABORATORY MIXED SAMPLE 7 DAYS 28 DAYS
- GENERAL - ALL WORK ASSOCIATED WITH THE DETAILS SHOWN ON THIS PAGE SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS, UNLESS OTHER SPECIFICATIONS ARE PROVIDED IN THE PROJECT MANUAL.

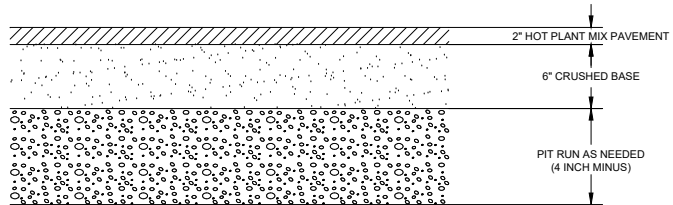
NOTE: ALL DETAILS NOT TO SCALE



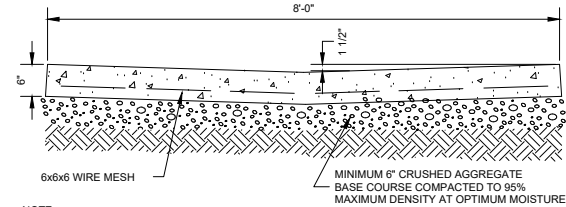
- GENERAL NOTES:
- ALL CONCRETE SHALL BE CLASS A/F.
  - MAXIMUM 5'-0" SPACING BETWEEN CONTROL JOINTS.



PAVEMENT SECTION  
PERMANENT RESURFACING FOR UTILITY CUTS

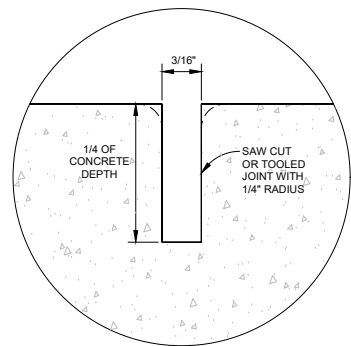


PAVEMENT SECTION  
TEMPORARY RESURFACING FOR UTILITY CUTS



NOTE:  
FIBER REINFORCED CONCRETE OR #3 BARS @ 12" OC EACH WAY MAY BE SUBSTITUTED FOR WELDED WIRE FABRIC UPON WRITTEN APPROVAL OF ENGINEER.

TYPICAL VALLEY GUTTER SECTION



CONTROL JOINT DETAIL  
NOT TO SCALE



BORDER SIZE	22"x34"
DESIGNED	GB
DRAWN	TI
CHECKED	GB
APPROVED	GB
DATE	5/31/2023
REVISIONS	
DESCRIPTION	
REVISION #1	
NO.	1



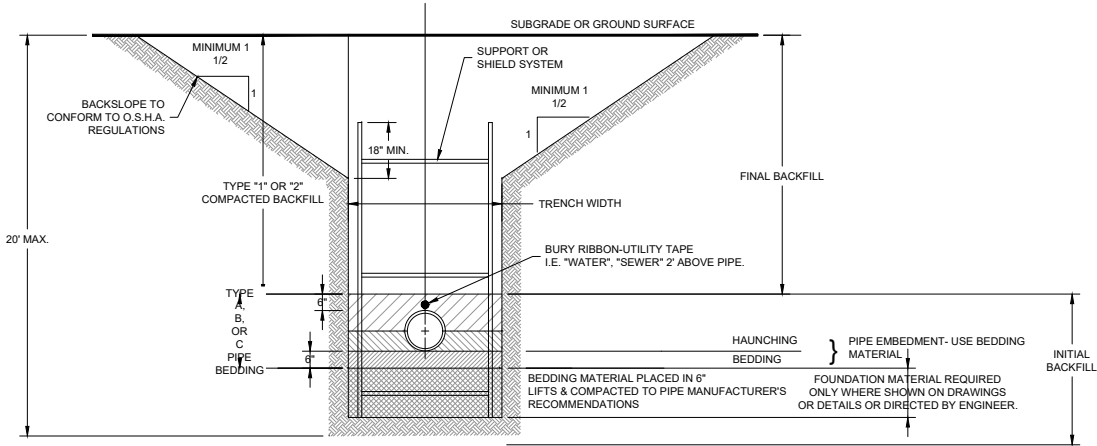
CONSTRUCTION DRAWINGS FOR:  
STONE STREET OFFICE AND WORKSHOP  
CONCRETE & FLAT SURFACE DETAILS

ATTENTION:  
1/2" = 1'  
IF THIS BAR DOES NOT MEASURE  
1" ON 22x34 SHEET or 1/2" ON  
11x17 SHEET, THEN DRAWING IS  
NOT TO SCALE.

DATE: August 9, 2023  
PROJECT: 230470  
SHEET:



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PIPE BEDDING

TYPE A-WELL GRADED MATERIAL WITH A MAXIMUM SIZE OF 3/4";  
MAXIMUM PLASTICITY INDEX OF 6; AS DETERMINED BY AASHTO  
DESIGNATIONS T-99 AND T-90.  
TYPE B-NON-PLASTIC; GRADING B DRAIN GRAVEL.  
TYPE C-NON-PLASTIC; MAXIMUM SIZE 1"; 0-5% PASSING NO. 4 SIEVE.

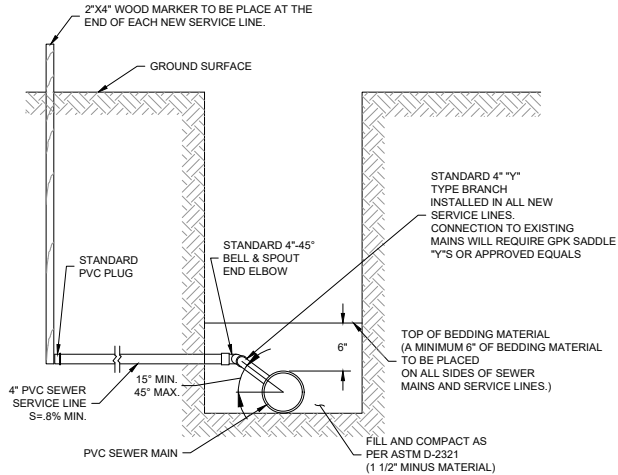
COMPACTED BACKFILL

TYPE 1-NATIVE MATERIALS; TWO LIFTS  
TYPE 2-NATIVE MATERIALS; 8" LIFTS  
TYPE 3-NATIVE MATERIALS; ONE LIFT

IF SUPPORT OR SHIELD SYSTEM IS NOT USED, MAXIMUM ALLOWABLE  
SLOPE FOR ALL TRENCHES LESS THAN 20 FT. DEEP WILL BE 1 1/2H:  
1V. COMPLY WITH APPLICABLE SAFETY REQUIREMENTS

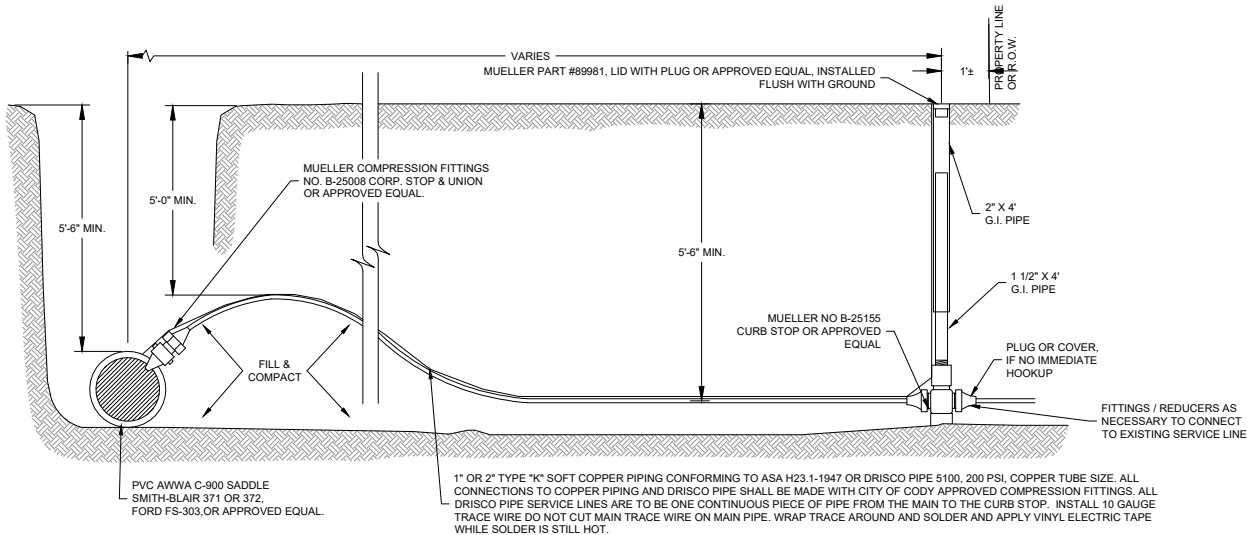
TYPICAL TRENCH DETAIL

N.T.S. 1



SANITARY SEWER SERVICE DETAIL

N.T.S. 2

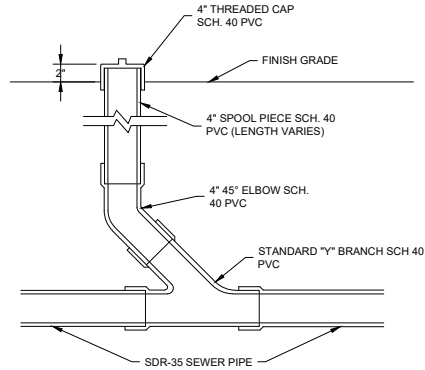


NOTES:

- SERVICE LINE TO BE INSTALLED WITH NO LESS THAN 5'-6" COVER, PROPERLY BEDDED WITH 3/8" MINUS PEA GRAVEL 6" BELOW AND 6" ABOVE SERVICE LINE.

TREATED WATER SERVICE DETAIL

N.T.S. 3



CLEANOUT DETAIL

N.T.S. 4



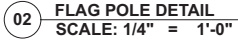
BORDER SIZE	22"x34"
DESIGNED	GB
DRAWN	TI
CHECKED	GB
APPROVED	GB
DATE	5/31/2023
REVISIONS	
DESCRIPTION	
REVISION #1	
NO.	1



CONSTRUCTION DRAWINGS FOR:  
STONE STREET OFFICE AND WORKSHOP  
UTILITY DETAILS

ATTENTION:  
0 1/2 1  
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DATE: August 9, 2023  
PROJECT: 230470  
SHEET:



**A CUSTOM PLAN  
SERVICE**

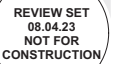
930 12TH STREET  
CODY, WYOMING 82414

307.587.6227 | 307.272.5709

MEMBER ILBA no. 1271

**CODY, WY**

**Michael Construction, INC.**  
3rd Generation Builder  
phone: 307.527.6401  
email: kipthiel@outlook.com



**NOTE:**  
ALTHOUGH GREAT CARE AND EFFORT HAVE GONE INTO THIS PLAN TO CREATE A PRECISE INTERPRETATION OF THE FINISHED PROJECT, IT IS IMPOSSIBLE TO GUARANTEE THAT THIS PLAN IS WITHOUT IMPERFECTIONS. THEREFORE PRECISION PLAN AND DESIGN INC AND/OR ASSOCIATES ASSUMES NO LIABILITY FOR ANY PROJECT CONSTRUCTED FROM THIS PLAN. THE BUILDER/OWNER MUST VERIFY ALL DIMENSIONS: THIS PLAN IS SUBJECT TO CHANGE PER ENGINEER AND/OR LOCAL CODES AND STANDARDS.

DATE: 08.04.23  
REVISION: 14

PROJECT NO.  
**2133**

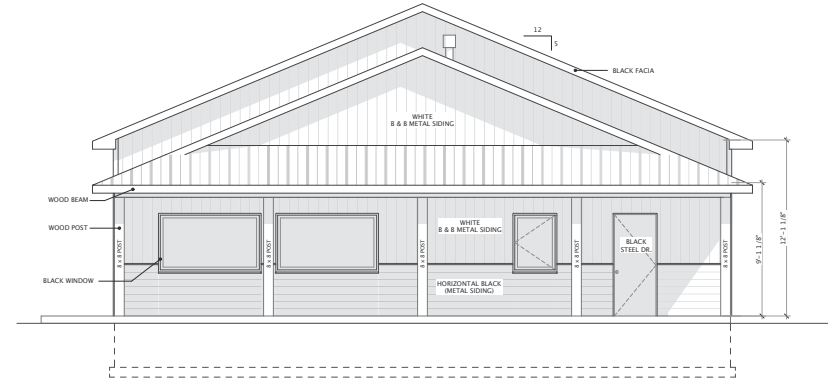
SHEET #  
**L1.0**  
LANDSCAPING  
PLAN



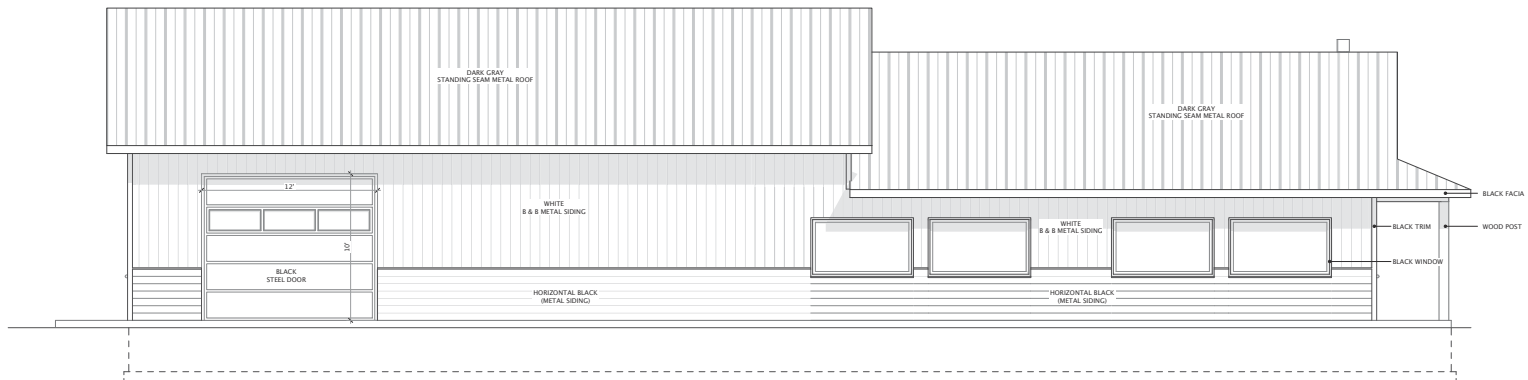


**FLOOR PLAN = 3,570 SF.**

SCALE: 1/4" = 1'-0"



01 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



02 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



PRECISION PLAN  
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SERVICE

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@PRECISIONPLANDDESIGN@GMAIL.COM

MEMBER ILBA No. 1271

PROJECT LOCATION  
CODY, WY

Kip B. Thiel Construction, Inc.  
3rd Generation Builder  
phone: 307.527.6401  
email: kpt@kbtcl.com



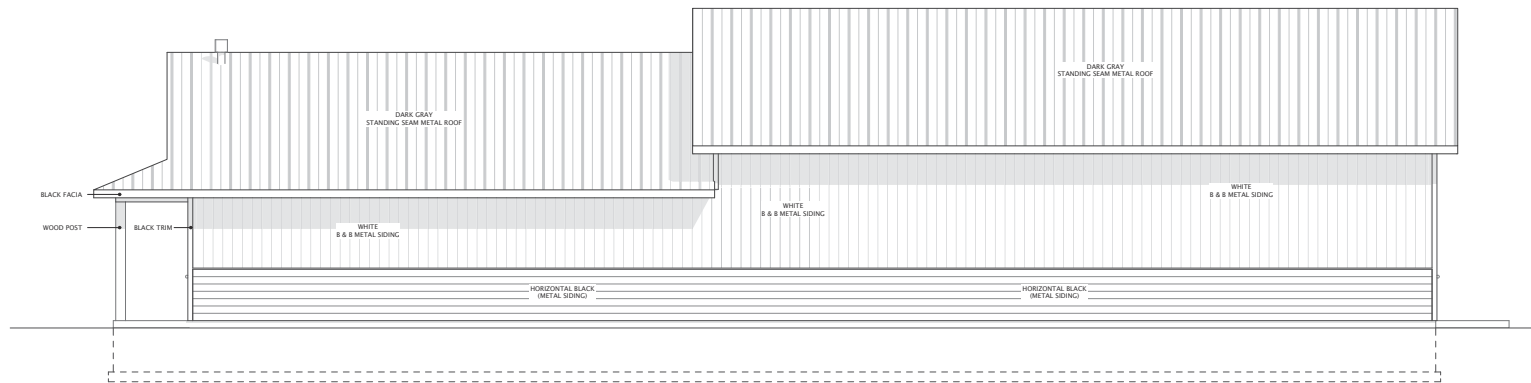
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NOT FOR  
CONSTRUCTION

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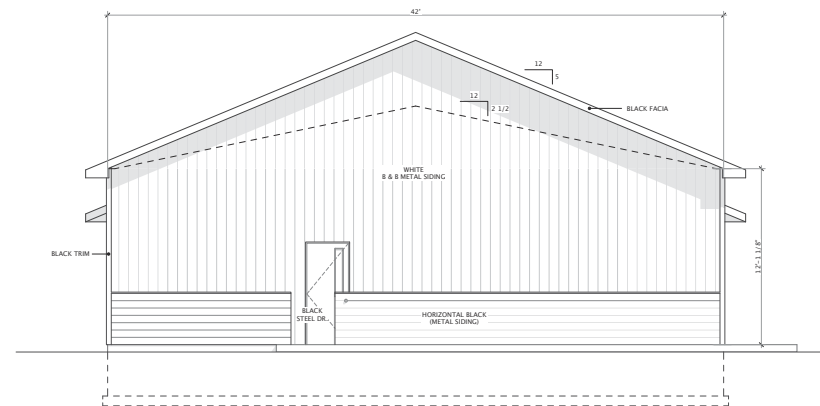
DATE: 08.04.23  
REVISION: 14

PROJECT NO.  
2133

SHEET #  
A2.0  
EXT. ELEV.



03 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



04 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



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MEMBER ILBA No. 1271

PROJECT LOCATION  
CODY, WY

Kip B. Thiel Construction, INC.  
3rd Generation Builder  
phone: 307.527.6401  
email: kthiel@outlook.com



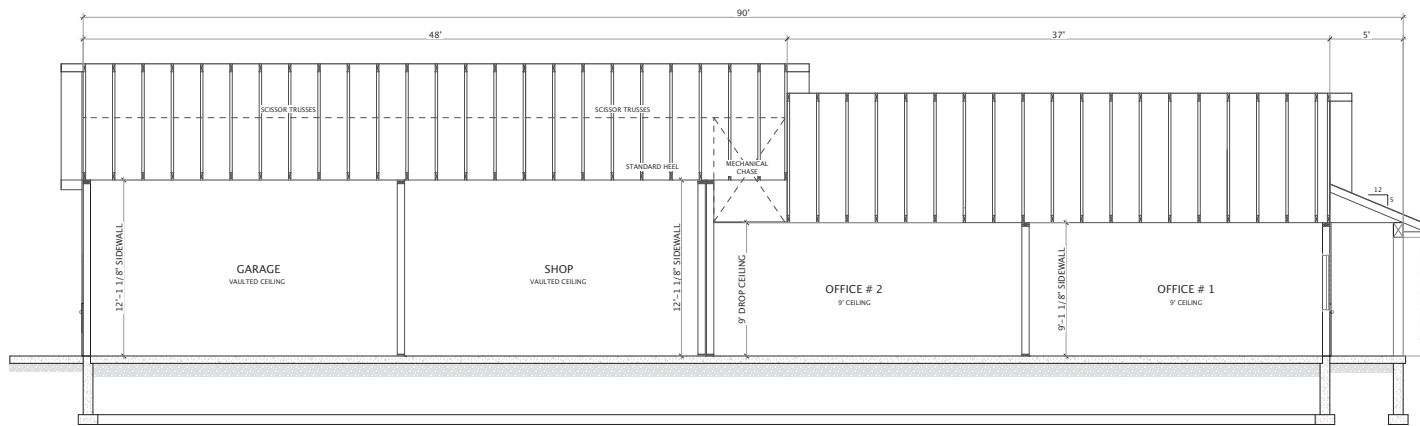
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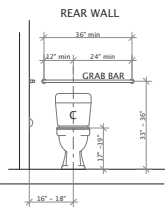
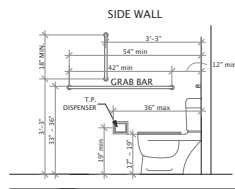
DATE: 08.04.23  
REVISION: 14

PROJECT NO.  
2133

SHEET #  
A2.1  
EXT. ELEV.

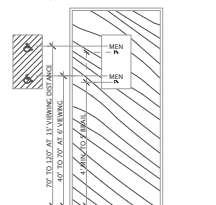


04 CROSS SECTION  
SCALE: 1/4" = 1'-0"

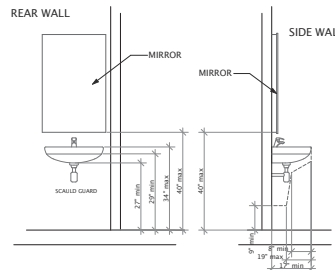
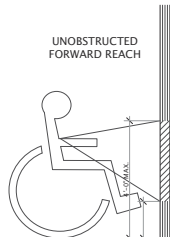


- GENERAL NOTES:
1. WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS.
  2. PROVIDE BACKING FOR ALL TOILET ACCESSORIES.
  3. ALL CONSTRUCTION METHODS AND FIXTURES TO MEET ADA CODES AND STANDARDS.
  4. USE WATER PROOF OR IMPERVIOUS WALL FINISH, 4" HIGH ON ALL WALLS LOCATED IN TOILET ROOMS.

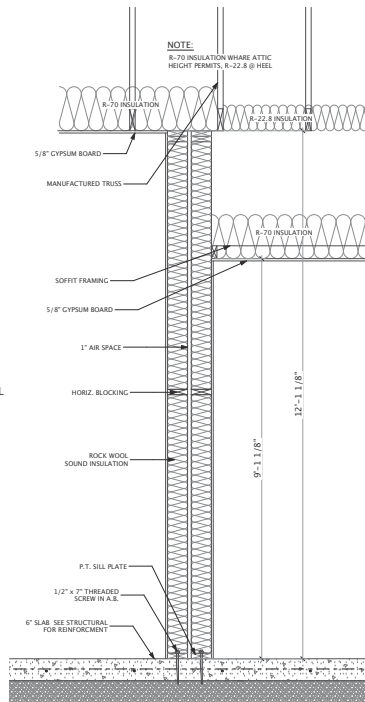
MOUNTING HEIGHT OF SIGNS TO BASE LINE OF BRAILLE CHARACTER OR OF LETTER IN ABSENCE OF BRAILLE



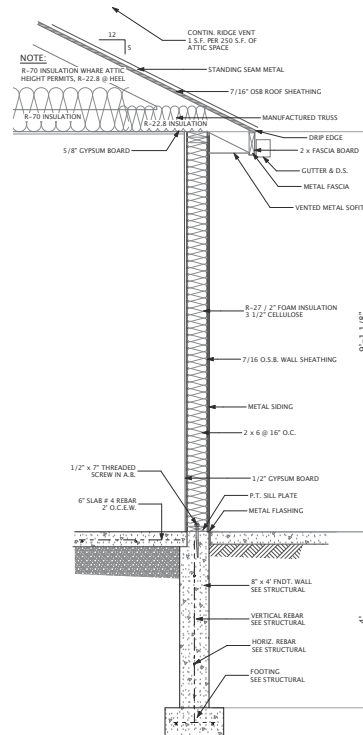
UNOBSTRUCTED FORWARD REACH



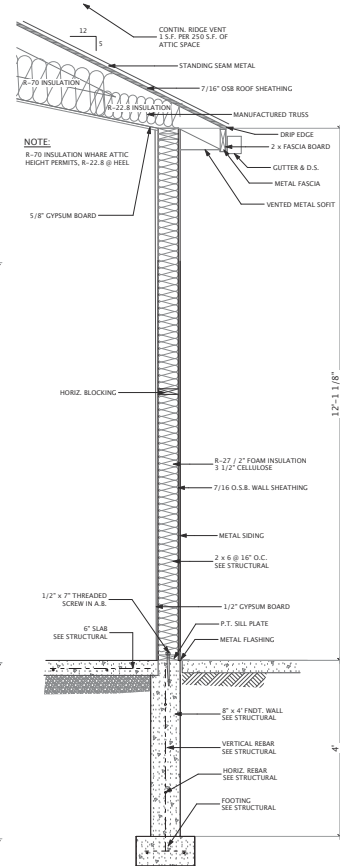
03 WALL SECTION  
SCALE: 3/4" = 1'-0"



01 WALL SECTION  
SCALE: 3/4" = 1'-0"



02 WALL SECTION  
SCALE: 3/4" = 1'-0"



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AND DESIGN INC.

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SERVICE

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@PRECISIONPLANDESIGN@GMAIL.COM

MEMBER ILBA No. 1271

PROJECT LOCATION  
CODY, WY

Kip B. Thiel Construction, INC.  
3rd Generation Builder  
phone: 307.527.6401  
email: kthiel@outlook.com



REVIEW SET  
08.04.23  
NOT FOR  
CONSTRUCTION

NOTE:  
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CODES AND STANDARDS.

DATE: 08.04.23  
REVISION: 14

PROJECT NO.  
2133

SHEET #  
A3.0  
SECTIONS



CIRCA



# KT-WDLED13-6A-9CSF-FDIM

## 6" LED SLIM WAFER DOWNLIGHT

### DESCRIPTION

6" LED Slim Wafer Downlight |  
Color Select Technology |  
Remote Driver with Built-in Junction Box

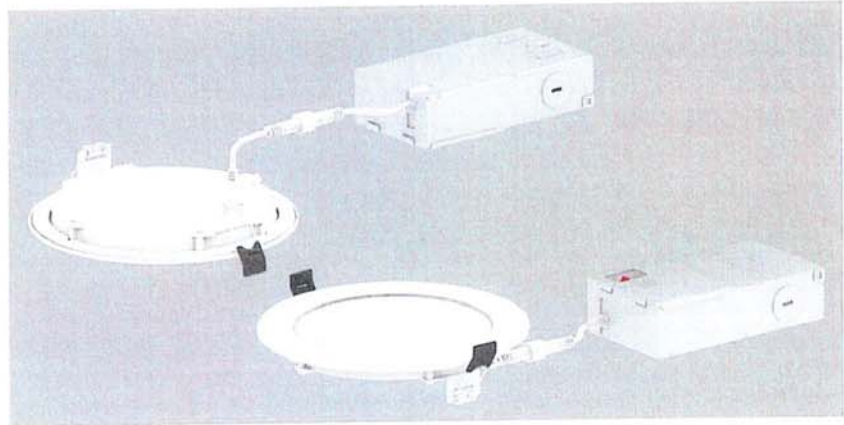
### APPLICATION

Ideal for residential, hospitality, retail, office, and other retrofit and new construction applications



RoHS  
Compliant

5 YEAR  
WARRANTY



### PRODUCT FEATURES

- Keystone Color Select technologies offers SKU reduction and allows for easy, on-the-job adjustments
- Utilizes a remote driver with built-in junction box and quick disconnect; Eliminates the need for a traditional, multi-piece fixture setup
- CEC Compliant Flicker Rate (CEC JA10 std.)
- Ideal for new construction, remodel, and retrofit applications
- Flat body allows fit for shallow ceilings
- Interchangeable trims available in matte black, brushed nickel, and bronze
- Powered by Keystone TRIAC dimming LED driver, 10–100% dimming
- Ambient operating temperature:  $-30^{\circ}\text{C}/-22^{\circ}\text{F}$  to  $40^{\circ}\text{C}/104^{\circ}\text{F}$
- Suitable for use in wet locations
- Airtight and Type IC-rated
- Power factor:  $>0.90$
- THD:  $<20\%$
- LED chip lifetime:  $L70 >80,000$  hrs @  $25^{\circ}\text{C}/77^{\circ}\text{F}$  ambient fixture temp
- FCC Part 15, Subpart B, Class B

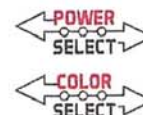
### PERFORMANCE SPECIFICATIONS

Catalog Number	Input Voltage	Wattage	CCT (Selectable)*	Lumen Output	Efficacy	CRI	Power Factor	Beam Angle	Lifetime
KT-WDLED13-6A-9CSF-FDIM	120V	13W	2700K	1,000	77 lm/W	$>90$	$>0.9$	$110^{\circ}$	50,000 hrs
			3000K	1,030	79 lm/W				
			3500K	1,065	82 lm/W				
			4000K	1,080	83 lm/W				
			5000K	1,070	82 lm/W				

\*Preset to 3000K

Color Uniformity: CCT (Correlated Color Temperature) range as per guidelines outlined in ANSI C78.377-2017





## KT-WPLED35PS-S3-8CSB-VDIM

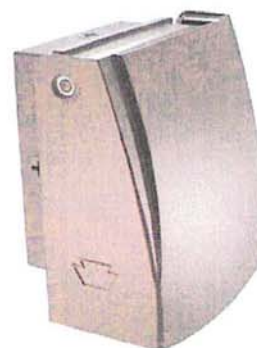
### ADJUSTABLE WALL PACK

#### DESCRIPTION

0° - 90° Adjustable LED Wall Pack | Power Select | Color Select | 120-277V | Bronze Housing

#### APPLICATION

Commercial wall mount applications for outdoor illumination (alleys, pathways, landscape lighting)



#### PRODUCT FEATURES

- Keystone Power Select technology (35/25/15W)
- Keystone Color Select technology (3000/4000/5000K)
- 0° - 90° field adjustable light positioning to illuminate areas missed by traditional forward throw wall packs
- Heavy duty, die cast aluminum housing with enhanced performance and reliability
- Built in dusk to dawn photocell behind translucent 3/4" threaded plug with antiyellowing agent
- Powered by Keystone 0-10V dimming LED drivers
- Ambient operating temperature: -40°C/-40°F - 50°C/122°F
- UL certified, IP65 rated
- THD: < 20%
- LED chip lifetime: L70 > 100,000 hrs @ 25°C/77°F ambient fixture temperature
- Meets FCC Part 15, Part B, Class A standards for conducted and radiated emissions

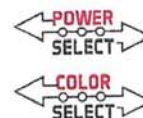
#### PRODUCT SPECIFICATIONS

Catalog Number	Wattage	CCT	Lumens	Efficacy	Dimming	CRI	Input Voltage	Photocell	Housing Color	Rated Life	Legacy Equivalent
KT-WPLED35PS-S3-8CSB-VDIM	35W	3000K	4375	125 lm/W	0-10V	>80	120-277V	Included	Bronze	50,000 hrs	150W MH
		4000K	5075	145 lm/W							
		5000K	4725	135 lm/W							
		3000K	3375	135 lm/W							
	25W	4000K	3750	150 lm/W							
		5000K	3625	145 lm/W							
		3000K	2178	145 lm/W							
	15W	4000K	2325	155 lm/W							
		5000K	2250	150 lm/W							





# XFIT

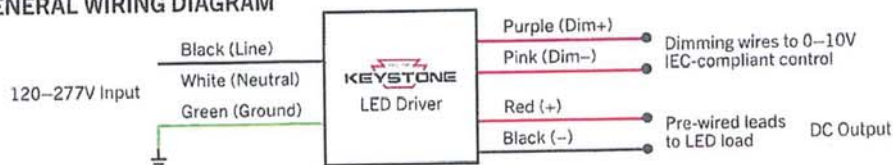


## KT-WPLED35PS-S3-8CSB-VDIM

### ADJUSTABLE WALL PACK

#### GENERAL SETUP INSTRUCTIONS

##### GENERAL WIRING DIAGRAM



**Caution:** Before installing, make certain that AC power to the fixture is off.

**Caution:** The electrical rating of this product is 120-277V. Installer must confirm that there is 120-277V at the fixture before installation.

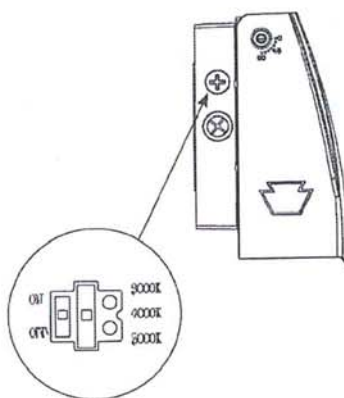
*Note: \*In accordance with NEC-20 410.69 2022, all 0-10V negative wires have been updated from gray to pink. Please contact Keystone for details*

##### ANGLE ADJUSTMENT INSTRUCTIONS

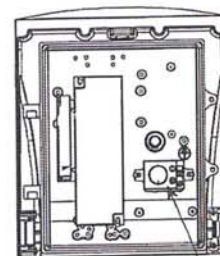
1. Loosen the screw on the side of the housing using an Allen wrench.
2. Adjust housing to desired setting, 0° - 90° in 15° intervals.
3. Tighten the screw on the side of the housing using the Allen wrench in Step 1.

##### PHOTOCELL AND CCT ADJUSTMENT

This fixture is equipped with a dusk to dawn photocell behind the translucent knockout (KO). Enable or disable the photocell by removing the cap and adjusting the dip switch to your desired setting. Fixture comes preset with photocell enabled. This fixture is also equipped with Keystone Color Select technology. The CCT dip switch is located in the same KO as the photocell. Remove the cap and adjust to your desired setting. This fixture comes preset to 5000K.



Photocell and CCT Adjustment

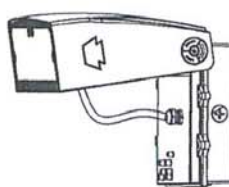


Wattage Adjustment

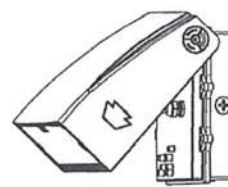
*Note: Settings in drawing used for reference. Different models will show different settings.*

##### WATTAGE ADJUSTMENT

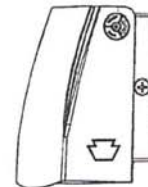
This fixture is equipped with Keystone Power Select technology. The adjustable knob is located in the driver compartment. See instructions below on how to access. Fixture comes preset to either 75W or 35W, depending on model ordered.



90°



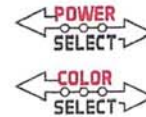
45°



0°



# XFIT

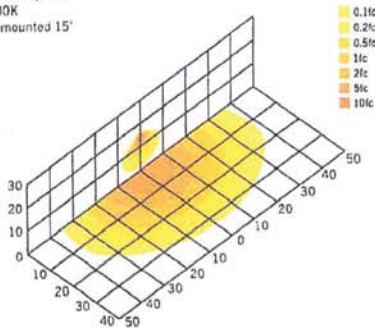


## KT-WPLED35PS-S3-8CSB-VDIM

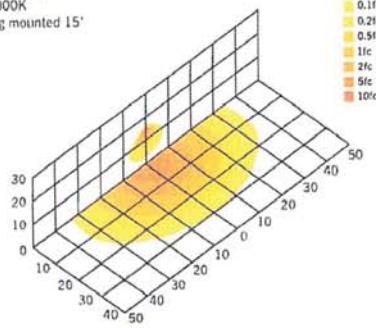
### ADJUSTABLE WALL PACK

#### PHOTOMETRICS SPECIFICATIONS

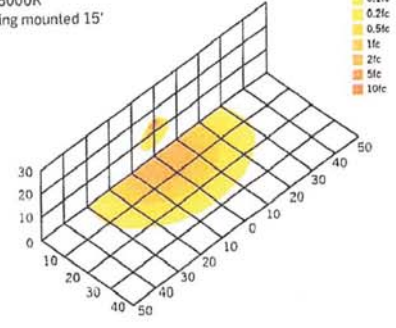
Full cutoff wall pack  
35W 5000K  
Building mounted 15'



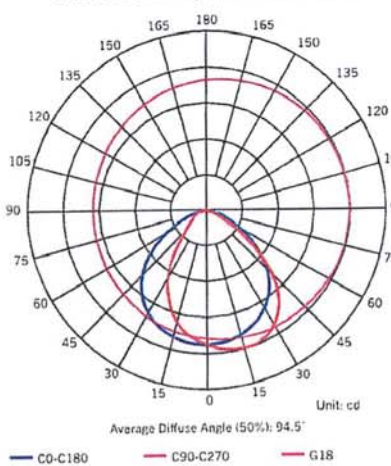
Full cutoff wall pack  
25W 5000K  
Building mounted 15'



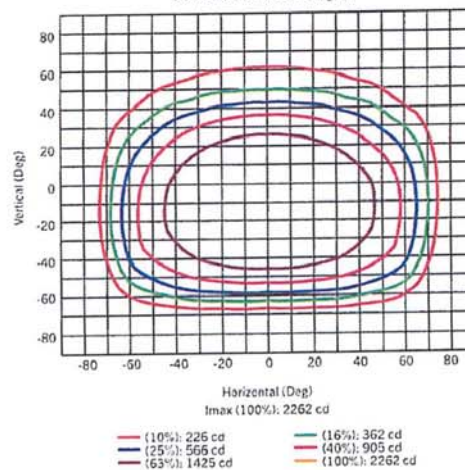
Full cutoff wall pack  
15W 5000K  
Building mounted 15'



Luminous Intensity Distribution Curve



Isocandela (Rectangle)



ZONE	LUMENS	% LAMP LUMENS
<b>FORWARD LIGHT</b>	<b>2938</b>	<b>60.3</b>
FL (0° - 30°)	904	18.6
FM (30° - 60°)	1674	34.4
FH (60° - 80°)	352	7.2
FVH (80° - 90°)	9	0.2
<b>BACK LIGHT</b>	<b>1886</b>	<b>38.7</b>
BL (0° - 30°)	768	15.8
BM (30° - 60°)	917	18.8
BH (60° - 80°)	175	3.6
BVH (80° - 90°)	23	0.5
<b>UP LIGHT</b>	<b>49</b>	<b>1.0</b>
UL (90° - 100°)	5	0.1
UH (100° - 180°)	44	0.9
<b>TRAPPED LIGHT</b>	<b>NA</b>	<b>NA</b>

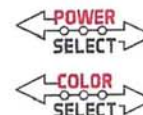
BUG (Backlight, Uplight, Glare) Rating  
Base On TM-15-07

Asymmetrical Luminaire Types  
(Type I, II, III, IV) B2 U2 G1

Quadrilateral Symmetrical  
Luminaire Types  
(Type V, Area Light) B2 U2 G1



# XFIT



## KT-WPLED35PS-S3-8CSB-VDIM

### ADJUSTABLE WALL PACK

#### ORDERING INFORMATION

Catalog Number	Easy Code	UPC
KT-WPLED35PS-S3-8CSB-VDIM	ZRH-81	843654141848

#### CATALOG NUMBER BREAKDOWN

# KT-WPLED35PS-S3-8CSB-VDIM

1	2	3	4	5	6	7	8	9	10	11
1 Keystone Technologies	2 Wall Pack	3 LED	4 Max Wattage	5 Power Select	6 Size	7 Style	8 CRI	9 Color Select	10 Color Select Designation	11 0-10V Dimming
					S	Small	8 >80		B	3000/4000/5000K
						3 Adjustable Full Cutoff				

#### ORDERING EXAMPLES

FIXTURE WITH TWO FACTORY-INSTALLED ACCESSORIES\*

KT-WPLED35PS-S3-8CSB-VDIM /515P6/10KV

FIXTURE WITH ONE FACTORY-INSTALLED ACCESSORY

KT-WPLED35PS-S3-8CSB-VDIM /515P6

FIXTURE WITH NO FACTORY-INSTALLED ACCESSORIES

KT-WPLED35PS-S3-8CSB-VDIM

#### KEYSTONE FIXTURE

CATALOG NUMBER

KT-WPLED35PS-S3-8CSB-VDIM

#### CORD SETS

✓ SUFFIX	CATALOG NUMBER
✓ /515P6	KT-CS-515P-6-18/3

#### SURGE PROTECTORS

✓ SUFFIX	CATALOG NUMBER
✓ /10KV	KTSP-10KV-C

\* When ordering more than one factory-installed accessory, use multiple suffixes as shown in the ordering examples above.  
 Note: All accessories can also be ordered separately for field installation using just their regular Catalog Number, UPC, or Easy Code.





Job Name/Title: \_\_\_\_\_ Catalog Number \_\_\_\_\_  
 Contractor: \_\_\_\_\_ Notes: \_\_\_\_\_

## LED Surface Mount Disk Light

### CCT SELECTABLE



### Smooth Profile & Dimming

Topaz's Surface Mount Disk Lights offer a five CCT selectable switch for easy selection of 2700K/3000K/3500K/4000K/5000K color temperatures at installation. These disk lights install in most four-inch junction boxes and are suitable for damp and wet locations. The sturdy aluminum housing and polycarbonate lens are attractive for residential and hospitality use and additional ambiance control can be achieved with their smooth dimming capabilities.

### FEATURES

- 5 CCT Selectable Switch: 2700K/3000K/3500K/4000K/5000K
- ENERGY STAR® Certified, highly energy efficient with efficacy up to 72 LPW
- T24 JA8: Can be used to comply with California Energy Commission's High Efficacy LED light source requirements
- Exceptional light quality with Color Rendering Index of 90
- High performance, long functional life of 50,000 hrs (L70)
- Smooth dimming down to 5%

### SUGGESTED APPLICATIONS

- Ceiling or surface mount, designed to install with most 4" junction boxes
- Suitable for use in closets, when installed in accordance with NEC requirements
- Suitable for damp and wet locations





Job Name/Title: \_\_\_\_\_ Catalog Number \_\_\_\_\_  
 Contractor: \_\_\_\_\_ Notes: \_\_\_\_\_

## LED Surface Mount Disk Light CCT SELECTABLE

### GENERAL SPECIFICATIONS

Input Voltage, Frequency: 120V, 60Hz  
 Power Factor, THD %:  $\geq 0.96$ ,  $\leq 13\%$   
 Dimmable: Down to 5%  
 Efficacy: Up to 72 LPW

CRI: 90  
 Functional Life (L70): 50,000 hours  
 Location Rating: Wet  
 Ambient Operating Temp: -4°F to 113°F

### ITEM SPECIFICATIONS / ORDER INFO

Catalog Number	Order Code	UPC	Size	Lumens	Wattage	Input Current	Beam CCT	ENERGY Angle	STAR
<b>White</b>									
SDL4/8W/WH/D/CTS-46	70722	751338037069	4"	580	8W	0.09A	2700K   3000K   3500K   4000K   5000K	110°	Y
SDL6/11W/WH/D/CTS-46	70723	751338037076	6"	770	11W	0.125A	2700K   3000K   3500K   4000K   5000K	110°	Y
<del>SDL6/15W/WH/D/CTS-46</del>	<del>70724</del>	<del>751338037083</del>	<del>6"</del>	<del>1,000</del>	<del>15W</del>	<del>0.16A</del>	<del>2700K   3000K   3500K   4000K   5000K</del>	<del>110°</del>	<del>Y</del>
<b>Bronze</b>									
SDL4/8W/BZ/D/CTS-46	70768	751338038011	4"	580	8W	0.09A	2700K   3000K   3500K   4000K   5000K	110°	Y
SDL6/11W/BZ/D/CTS-46	70769	751338038028	6"	770	11W	0.125A	2700K   3000K   3500K   4000K   5000K	110°	Y
SDL6/15W/BZ/D/CTS-46	70770	751338038035	6"	1,000	15W	0.16A	2700K   3000K   3500K   4000K   5000K	110°	Y

### NOMENCLATURE

Example: SDL4/8W/WH/D/CTS-46

SDL4 = 4" Surface Disk Light / 8W = 8 Watts / WH = White / D = Dimmable / CTS = Color Temperature Selectable

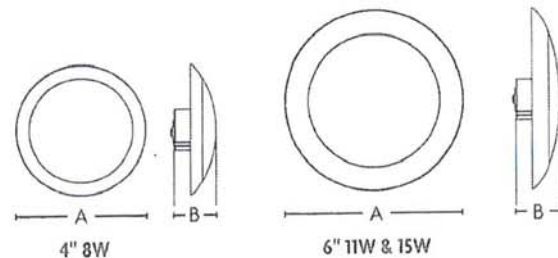
SDL6 = 6" Surface Disk Light / 11W = 11 Watts / BZ = Bronze  
 / 15W = 15 Watts

### ENERGY SAVINGS

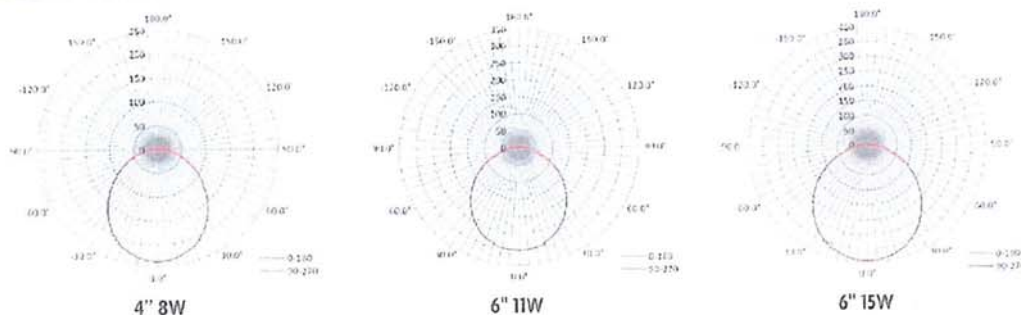
Catalog Number	LED Wattage	Incandescent Replacement Wattage	Watts Saved	Yearly Savings	5 Year Savings
Based on 12 hours/day and \$0.11/kWh					
SDL4/8W/xx/D/CTS-46	8W	50W	42W	\$20.24	\$101.18
SDL6/11W/xx/D/CTS-46	11W	65W	54W	\$26.02	\$130.09
SDL6/15W/xx/D/CTS-46	15W	75W	60W	\$28.91	\$144.54

### PRODUCT DIMENSIONS / LINE DRAWING

Catalog Number	(A)	(B)	Weight
SDL4/8W/xx/D/CTS-46	5.4"	1.8"	0.3 Lbs.
SDL6/11W/xx/D/CTS-46	7.5"	1.9"	0.5 Lbs.
SDL6/15W/xx/D/CTS-46	7.5"	1.9"	0.5 Lbs.



### POLAR PLOTS



### NOTES:

Dimming- This unit is designed to be compatible with most leading-edge type incandescent or LED style dimmers. (Dimming range 100% - 5%).  
 Fixture performance may vary depending on dimmer manufacturer and circuit loading. For an up to date dimmer compatibility list visit [www.topaz-usa.com/led-dimmer-compatibility](http://www.topaz-usa.com/led-dimmer-compatibility).  
 Specifications subject to change without prior notice. Replacement wattage shown depends on application and fixture.  
 This device complies with Part 15 of the FCC Rules. Operation is subject to the following two conditions: (1) this device may not cause harmful interference, and  
 (2) this device must accept any interference received, including interference that may cause undesired operation.

**WARNING:** Some products included in this specification sheet may be subject to the warning requirements of California's Proposition 65.  
 Please refer to your product packaging for more information.

Revised November 2020



# DRAINAGE IMPACT STUDY

## STONE STREET OFFICE AND WORKSHOP PROJECT

CODY, PARK COUNTY, WY

AUGUST 2023

Prepared for: Kip B. Thiel Construction, Inc.

Prepared by: Ardurra



**CIVIL ENGINEER'S  
PROFESSIONAL CERTIFICATION**

I hereby certify that this report was developed by me or under my direction and that I am a Professional Engineer licensed in the State of Wyoming as required by the provisions of W.S. 33-29-114 through W.S. 33-29-139.

IN WITNESS WHEREOF, I have hereunder set my hand and affixed my seal.

**Ginger S. Brown, PE 16481**

## Executive Summary

This report was completed for a proposed 3,570 sf building for the Stone Street Office and Workshop project located in Cody, WY. The project also includes grading improvements, paved parking area, concrete sidewalk, landscape area, and storm water retention area. Drainage calculations and storage requirements are provided in this drainage report.

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HYDRAULIC ANALYSIS .....	3
HISTORIC ANALYSIS.....	3
DEVELOPED ANALYSIS.....	4
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APPENDICIES.....	7
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Appendix B – NRCS SOIL REPORT	
Appendix C –PRE-DEVELOPMENT AND POST-DEVELOPMENT SUBBASIN EXHIBITS	
Appendix D - Tc GRAPH	
Appendix E – RETENTION POND STORAGE VOLUME CALCULATIONS	

## INTRODUCTION

Kip B. Thiel Construction, INC. is proposing a new office building situated on Lot 3 of Rocky Mountain Business Park in Cody, WY. The lot is 0.66 acres and located along the west side of Stone Street and south of Big Horn Avenue. This drainage report includes the drainage analysis for the existing and proposed site conditions. See **Appendix A** for the site plan showing the developed site conditions.

The precipitation runoff in excess to the historical run off will be handled by a retention pond on site. This report analyzes the 10-year, 2-hour storm for the historic runoff. A 100-year, 2-hour storm will be used to size the retention pond per Section 3.6.5.2 of the City of Cody Storm Water Management Policy.

## EXISTING SITE CONDITION

The existing undeveloped lot consists of well-drained, unimproved land with slopes generally between 1-2% from west to east. An existing swale is located along the west edge of Stone Street which carries stormwater to both the north and south. The NRCS Soil Report for this site can be found in **Appendix B**.

## HYDRAULIC ANALYSIS

A hydraulic analysis was completed to estimate the existing drainage conditions combined with the proposed additional runoff from impervious surfacing combined with the proposed grading improvements. See **Appendix C** for the pre-development 'historical' subbasin exhibit and the post-development subbasin exhibit. Runoff rates and volumes were determined for both 10-year and 100-year frequency events per the City Storm Water Management Policy. Excess volumes generated by the new building, sidewalk, landscape, and parking areas will be discharged in the proposed retention area and retained on-site as directed in the City's Storm Water Management Policy. The retention pond is proposed with a storage volume capacity of 10.6 yd<sup>3</sup> and a water depth approximately 1.5' deep with 1' of freeboard. The developed portion of the site will be graded to direct the additional runoff generated by the impervious surfaces to the proposed retention pond.

## HISTORIC ANALYSIS

### **10-Year, 2-Hour Storm Event**

Subbasin 1: 0.33 Acres (14,374.80 square feet)

Longest Travel Distance (ground) = 160 ft.

Ground Elevation Difference (4937.00 – 4936.00) = 1 ft.

Ground Slope, S = Elev./Dist = 0.625%

C<sub>ave</sub> = 0.10 (Unimproved Areas (City of Cody Wyoming, 2003))

T<sub>c</sub> = 27.0 mins. (see T<sub>c</sub> graph in **Appendix D**)

10-year, 2-hour storm Flow Rate:

Rainfall Intensity, I = 0.53 inches/hour

Q = CIA = 0.10 \* 0.53 \* 0.33 = 0.017 cfs

Subbasin 2: 0.25 Acres (10,890 square feet)

Longest Travel Distance (ground) = 155 ft.

Ground Elevation Difference (4937.12 – 4936.31) = 0.81 ft.

Ground Slope, S = Elev./Dist = 0.523%

$C_{ave} = 0.10$  (Unimproved Areas (City of Cody Wyoming, 2003))

$T_c = 27.8$  mins. (see  $T_c$  graph in **Appendix D**)

10-year, 2-hour storm Flow Rate:

Rainfall Intensity,  $I = 0.53$  inches/hour

$Q = CIA = 0.10 * 0.53 * 0.25 = 0.013$  cfs

Subbasin 3: 0.075 Acres (3,267 square feet)

Longest Travel Distance (ground) = 74 ft.

Ground Elevation Difference (4936.61 – 4936.00) = 0.61 ft.

Ground Slope,  $S = \text{Elev./Dist} = 0.824\%$

$C_{ave} = 0.10$  (Unimproved Land (City of Cody Wyoming, 2003))

$T_c = 15.0$  mins. (see  $T_c$  graph in **Appendix D**)

10-year, 2-hour storm Flow Rate:

Rainfall Intensity,  $I = 0.53$  inches/hour

$Q = CIA = 0.10 * 0.53 * 0.075 = 0.004$  cfs

## DEVELOPED ANALYSIS

### 100-Year, 2-Hour Storm Event

Subbasin 1: 0.30 Acres

Asphalt	= 0.10 acres x 0.95 = 0.095
Concrete	= 0.02 acres x 0.95 = 0.019
Roof	= 0.04 acres x 0.95 = 0.038
Xeriscape	= 0.05 acres x 0.25 = 0.013
<u>Undeveloped Land</u>	<u>= 0.09 acres x 0.10 = 0.009</u>
Total	= 0.30 acres = 0.174

Longest Travel Distance (ground) = 147 ft.

Ground Elevation Difference (4937.54 – 4936.43) = 1.11 ft.

Ground Slope,  $S = \text{Elev./Dist} = 0.755\%$

$C_{ave} = 0.58$

$T_c = 12.0$  mins. (see  $T_c$  graph in **Appendix D**)

100-Year, 2-Hour Storm Event:

Rainfall Intensity,  $I = 0.85$  inches/hour

$Q = C_{avg}IA = 0.58 * 0.85 * 0.30 = 0.15$  cfs

Hydraulic Volume =  $Q * 2T_c / 2 = 0.15 \text{ cfs} * 2(12 \text{ min} * 60) / 2 = 108 \text{ ft}^3 = 4 \text{ yd}^3$

Subbasin 2: 0.25 Acres (10,890 square feet)

Longest Travel Distance (ground) = 155 ft.

Ground Elevation Difference (4937.12 – 4936.31) = 0.81 ft.

Ground Slope,  $S = \text{Elev./Dist} = 0.523\%$



$C_{ave} = 0.10$  (Unimproved Areas (City of Cody Wyoming, 2003))

$T_c = 27.8$  mins. (see  $T_c$  graph in **Appendix D**)

100-year, 2-hour storm Flow Rate:

Rainfall Intensity,  $I = 0.85$  inches/hour

$Q = C_{IA} = 0.10 * 0.85 * 0.25 = 0.021$  cfs

Hydraulic Volume =  $Q * 2T_c / 2 = 0.021 \text{ cfs} * 2(27.8 \text{ min} * 60) / 2 = 35 \text{ ft}^3 = 1.3 \text{ yd}^3$

Note that the area delineated for Subbasin 2 currently remains unchanged from historic conditions.

#### Subbasin 3: 0.016 Acres

Asphalt	= 0.0023 acres x 0.95 = 0.0022
Concrete	= 0.0040 acres x 0.95 = 0.0038
<u>Undeveloped Land</u>	<u>= 0.0094 acres x 0.10 = 0.0009</u>
Total	= 0.016 acres = 0.0069

Longest Travel Distance (ground) = 9 ft.

Ground Elevation Difference (4937.62 – 4936.11) = 1.11 ft.

Ground Slope,  $S = \text{Elev.}/\text{Dist} = 16.8\%$

$C_{ave} = 0.43$

$T_c = 1.0$  min. (see  $T_c$  graph in **Appendix D**)

100-Year, 2-Hour Storm Event:

Rainfall Intensity,  $I = 0.85$  inches/hour

$Q = C_{avg}IA = 0.43 * 0.85 * 0.016 = 0.006$  cfs

Hydraulic Volume =  $Q * 2T_c / 2 = 0.006 \text{ cfs} * 2(1 \text{ min} * 60) / 2 = 0.36 \text{ ft}^3 = 0.013 \text{ yd}^3$

#### Subbasin 4: 0.085 Acres

Roof	= 0.0410 acres x 0.95 = 0.0390
Concrete	= 0.0028 acres x 0.95 = 0.0027
<u>Undeveloped Land</u>	<u>= 0.0410 acres x 0.10 = 0.0041</u>
Total	= 0.085 acres = 0.0458

Longest Travel Distance (ground) = 36 ft.

Ground Elevation Difference (4937.46 – 4936.01) = 1.4 ft.

Ground Slope,  $S = \text{Elev.}/\text{Dist} = 3.89\%$

$C_{ave} = 0.54$

$T_c = 3.0$  min. (see  $T_c$  graph in **Appendix D**)

100-Year, 2-Hour Storm Event:

Rainfall Intensity,  $I = 0.85$  inches/hour

$$Q = C_{avg}IA = 0.54 * 0.85 * 0.085 = 0.039 \text{ cfs}$$

$$\text{Hydraulic Volume} = Q * 2T_c / 2 = 0.039 \text{ cfs} * 2(3 \text{ min} * 60) / 2 = 7 \text{ ft}^3 = 0.26 \text{ yd}^3$$

$$\text{Post-Development Hydraulic Volume total: } 4 \text{ yd}^3 + 1.3 \text{ yd}^3 + 0.013 \text{ yd}^3 + 0.26 \text{ yd}^3 = 5.6 \text{ yd}^3$$

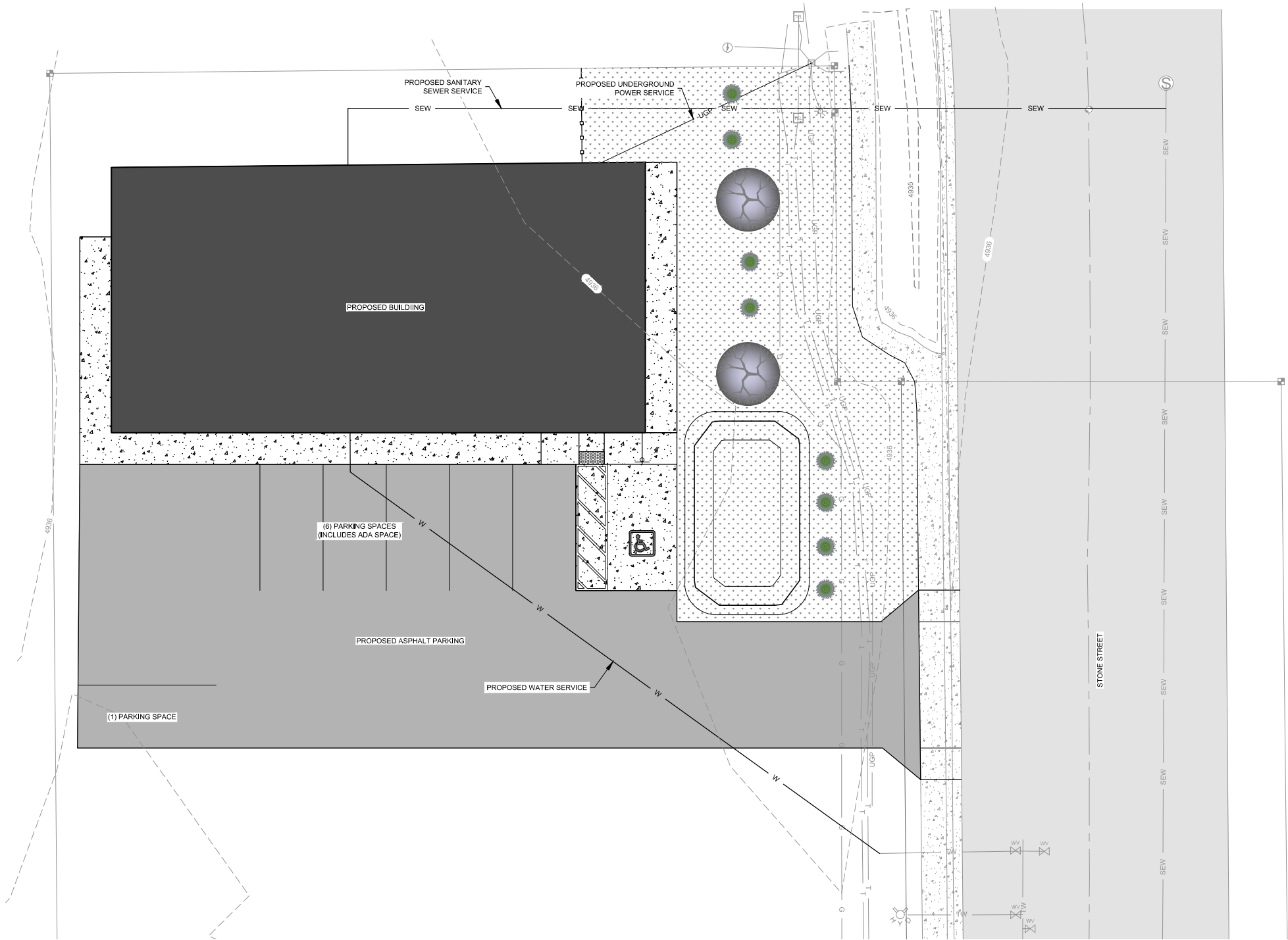
$$\text{Proposed retention pond volume} = 10.6 \text{ yd}^3 \text{ (See **Appendix E** for pond storage volume calculations)}$$

## CONCLUSIONS

The proposed drainage design meets the city requirement that the entire site hydraulic volume is accounted for in calculating the required retention pond storage volume for the 100-year 2-hour storm. The proposed retention pond was calculated to have a storage volume capacity of 10.6 yd<sup>3</sup> which is greater than the calculated total post-development runoff for the site of 5.6 yd<sup>3</sup>.

## REFERENCES

City of Cody Wyoming. (2003). *City of Cody Storm Water Management Policy*. Cody: Public Works Department.

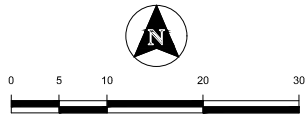


GENERAL NOTES

- ALL EXISTING UTILITIES SHOWN HERE-IN ARE THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED NOR SHALL IT BE CONSIDERED COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THEM DURING CONSTRUCTION. THE CONTRACTOR SHALL CALL "ONE CALL OF WYOMING" 1-800-849-2476 AT LEAST 48 HOURS PRIOR TO DIGGING.
- ALL UTILITIES ARE TO BE PROTECTED IN PLACE.

LEGEND

- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- EXISTING EDGE OF CONCRETE
- EXISTING FLOW LINE
- EXISTING FENCE
- EXISTING SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING TELEPHONE RISER
- EXISTING STORM INLET
- EXISTING STREET LIGHT
- EXISTING GAS LINE
- EXISTING UNDERGROUND POWER
- EXISTING TREATED WATER
- EXISTING COMMUNICATION LINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CONCRETE
- PROPOSED BUILDING
- PROPOSED PAVEMENT
- PROPOSED LANDSCAPING AREA
- PROPOSED BUNCH GRASS
- PROPOSED TREE
- PROPOSED FLOWLINE
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED UNDERGROUND POWER



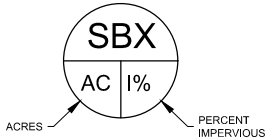
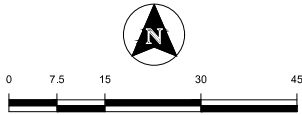
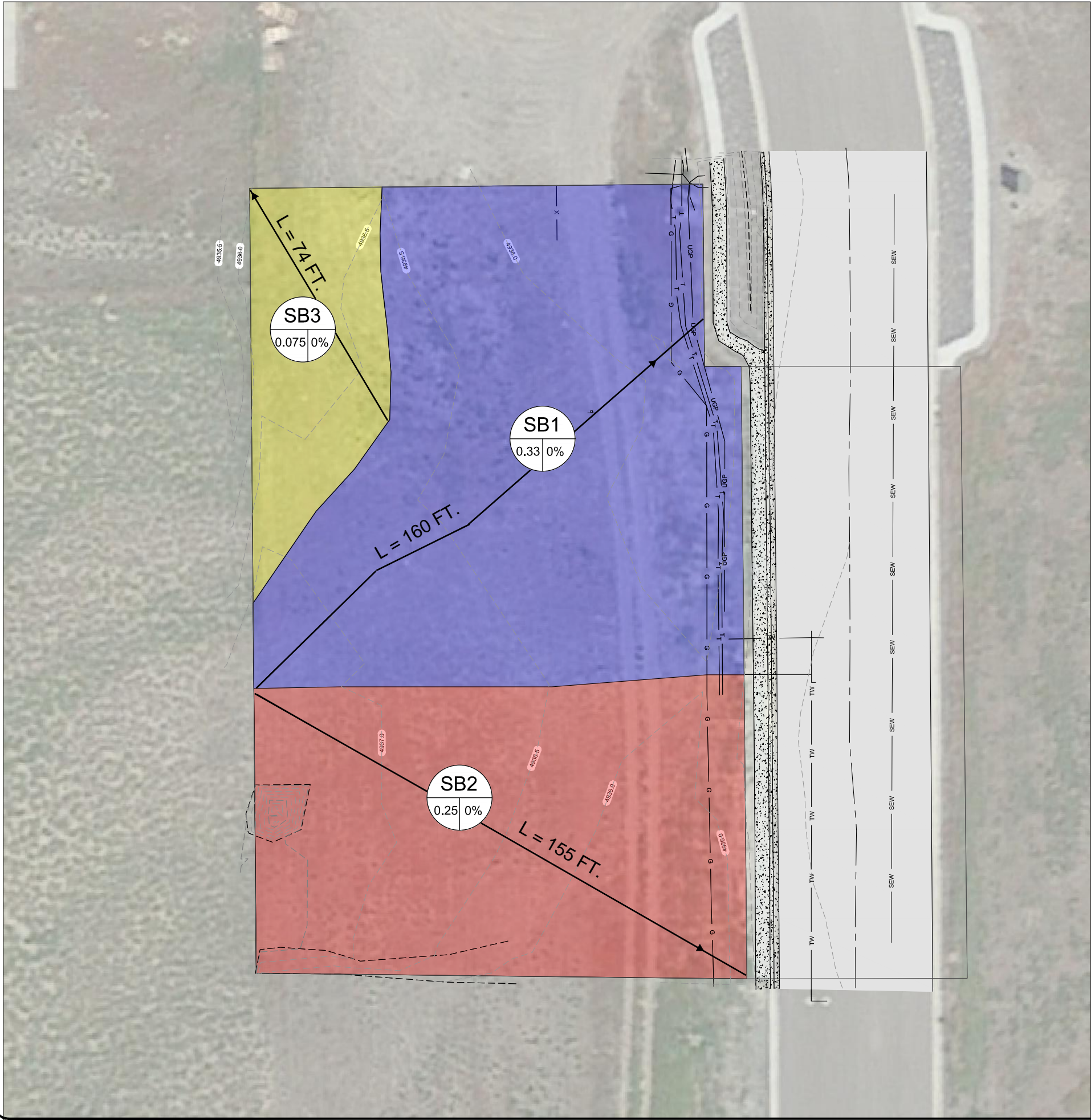
BORDER SIZE		DESIGNED		DRAWN		CHECKED		APPROVED	
22"x34"		GB		GB		GB		GB	
DATE		REVISION #1							
5/31/2023									
NO.		DESCRIPTION							
1									



CONSTRUCTION DRAWINGS FOR:  
STONE STREET OFFICE AND WORKSHOP  
SITE UTILITY PLAN

ATTENTION:  
0 1/2 1  
IF THIS BAR DOES NOT MEASURE  
1" ON 22x34 SHEET or 1/2" ON  
11x17 SHEET, THEN DRAWING IS  
NOT TO SCALE

DATE: August 2, 2023  
PROJECT: 230470  
SHEET:



LEGEND

CONSTRUCTION DRAWING FOR:  
STONE STREET OFFICE AND WORKSHOP  
PRE-DEVELOPMENT BASIN EXHIBIT

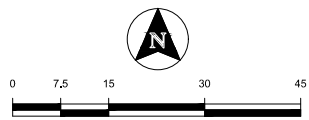
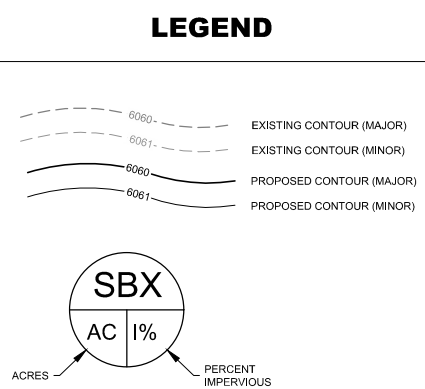
ATTENTION:  
1/2"  
IF THIS BAR DOES NOT MEASURE  
1" ON 22x34 SHEET or 1/2" ON  
11x17 SHEET, THEN DRAWING IS  
NOT TO SCALE

DATE: August 2, 2023  
PROJECT: 230470  
SHEET:



REVISIONS		BORDER SIZE	
NO.	DESCRIPTION	DATE	22"x34"
			DESIGNED
			JMI
			DRAWN
			OK
			CHECKED
			LS
			APPROVED
			LS



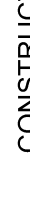


## LEGEND

## CONSTRUCTION DRAWING FOR:

# STONE STREET OFFICE AND WORKSHOP

## POST-DEVELOPMENT BASIN EXHIBIT



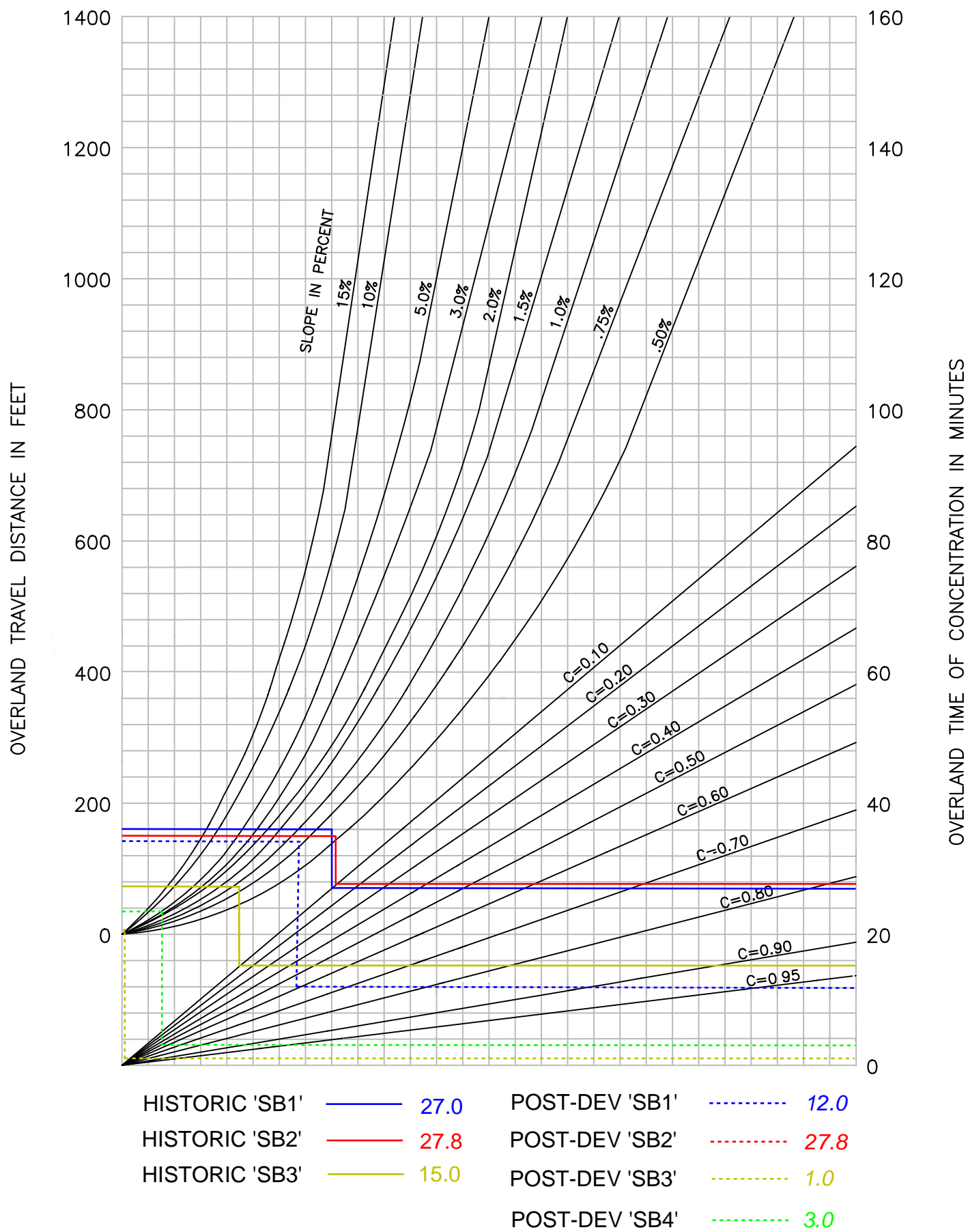
ATTENTION: 
0
1

IF THIS BAR DOES NOT MEASURE 1" ON 22x34 SHEET or 1/2" ON 11x17 SHEET, THEN DRAWING IS NOT TO SCALE

DATE:	August 9, 2023	
PROJECT:	230470	
SHEET:		



## APPENDIX D — T<sub>c</sub> GRAPH



## APPENIX E – RETENTION POND STORAGE VOLUME CALCULATIONS

Wednesday, 08 / 2 / 2023

[illegible]