

City of Cody City Council

Tuesday October 4, 2022 – 7:00 p.m. (Pre-Meeting to begin at 6:53 p.m. in Council Chambers)
Meeting Place: City of Cody Council Chambers – 1338 Rumsey Avenue, Cody, WY

Meeting Called to Order

Pledge of Allegiance

Moment of Silence

Roll Call

Mayor's Recognitions and Announcements

1. Consent Calendar

All items under the consent calendar will be acted upon in one motion unless a Councilmember or member of the public requests that an individual item be taken up under Conduct of Business.

- a. Approval of Minutes: Regular Minutes from September 20, 2022 and Work Sessions from September 13 and September 27, 2022.
- b. Approve Vouchers and payroll in the amount of \$613,697.99
- c. Award Bid 2022-12 to Floyd's Truck Center for (1) 2023 Freightliner Cab and Chassis with (1) Southwestern compaction body in the amount of \$261,229.00.
- d. Appoint Tim Blatt as a special prosecutor for a municipal court case.
- e. Approve the street closure of Sheridan Avenue from 10th to 15th Streets from 3:30 pm to 6:00 pm, actual event running 4:00 pm – 6:00 pm, on Monday, October 30, 2022 for the Annual Downtown Trick or Treat Event, and work with Staff for coordination of said event. Event approval contingent upon WYDOT approval and proof of liability insurance.
- f. Approve the street closure of Sheridan Avenue between 9th and 14th Streets from 4:00 pm to 8:00 pm, actual event running 5:00 pm – 8:00 pm, on Saturday, November 26th, 2022 during the Christmas Stroll & Holiday Parade, and work with Staff for coordination of said event. Event approval contingent upon WYDOT approval and proof of liability insurance.
- g. Authorize the Mayor to enter into an agreement between the City of Cody and Off Grid Inspections, LLC (Steve Frank) for electrical inspection and plan review services.

2. Public Comments: The City Council welcomes input from the public. In order for everyone to be heard, please limit your comments to five (5) minutes per person. The Guidelines for the Conduct of City Council Meetings do not allow action to be taken on public comments.

3. Public Hearing.

4. Conduct of Business

- a) Consider approving a Final Plat and construction plans for the Schoonover Subdivision, 5-lot subdivision, subject to conditions of approval.
Staff Reference: Todd Stowell, City Planner
- b) Ordinance 2022-17 – First Reading
An Ordinance to amend Title 9, Chapter 1, Section 2 of the Cody City Code, to reduce the number of Contractor Licensing Board Members from ten to seven and add more flexibility in the composition of those qualified to serve on the Bard.
Staff Reference: Todd Stowell, City Planner
- c) Ordinance 2022-15 –Second Reading
An Ordinance to Annex to the City of Cody 1.85 acres owned by Tim and Gina Leonhardt within Tract A of the Paddock Estates Subdivision, and to authorize the subdivision of the property along the annexation boundary.
Staff Reference: Todd Stowell, Community Development Director
- d) Ordinance 2022-16 Second Reading as Amended
An Ordinance to Rezone 1.85 acres being annexed by Ordinance 2022-16 as Medium-High Density Residential (R-3).
Staff Reference: Todd Stowell, Community Development Director

5. Tabled Items

6. Matters from Staff Members

7. Matters from Council Members

8. Adjournment

Upcoming Meetings:

October 11, 2022 – Tuesday – Work Session – 5:30 p.m. (tentative)

October 18, 2022– Tuesday -Regular Council Meeting – 7:00 p.m.

City of Cody
Council Proceedings
Tuesday, September 20, 2022

A regular meeting of the Cody City Council was held in the Council Chambers at City Hall in Cody, Wyoming on Tuesday, September 20, 2022 at 7:00 p.m.

Present: Mayor Hall, Council Members, Heidi Rasmussen, Diane Ballard, Jerry Fritz, Justin Baily and City Attorney Scott Kolpitzke, City Administrator Barry Cook, and Deputy City Clerk Barbara Curless.

Absent: Council Members Emily Swett and Andy Quick.

Mayor Hall called the meeting to order at 7:00 p.m.

Council Member Ballard made a motion seconded by Council Member Baily to approve Consent Calendar as presented. Approval included approval of Minutes: Regular Minutes from September 6, 2022; approve Vouchers and payroll in the amount of \$2,110,538.35; approve Amendment #2 for Engineering Associates for Professional Services for the YRA Treated Waterline Replacement Project and authorize the Mayor to sign and execute all associated documents; approve Amendment #2 for Engineering Associates for Professional Services for the Wastewater Treatment Plant upgrade project and authorize the Mayor to sign and execute all associated documents; authorize the change to the City Personnel and Policy Manual regarding Vacation Benefits, eliminating carryover request, eliminating the annual max carry over of 80 hours and setting accrual limits/cap to equal annual accrual plus 80 hours, accrual shall be based on the years of service chart in City Personnel and Policy Manual. The changes shall be effective immediately; authorize the Mayor to sign a letter of support for the Crisis Intervention relating to a grant application; authorize the Mayor to sign the 2022-2023 Alcohol and Tobacco Compliance Contracts; approve Change Order No. 1 for Two Sisters Contracting LLC for the 2022 Cody Sidewalk and Pedestrian Ramp Improvement Project; consider a Subdivision Variance to allow the sale and occupancy of one house in Phase 3 of the Landing Subdivision prior to accepting all public improvements. Vote was unanimous.

At 7:02 The Mayor entered into the Public Hearing to consider annexation to the City of Cody of approximately 1.85 acres owned by Tim and Gina Leonhardt, located south of State Highway 14-16-20 was held during the discussion regarding Ordinance 2022-15. At 7:05 the Mayor exited the public hearing.

Council Member Rasmussen made a motion seconded by Council Member Bailey to approve a pawnbroker for Kerry Pae dba Cody Mercantile Pawn Shoppe LLC to be located at 1021 14th Street with the condition the applicant agrees to meet local reporting requirements for Pawnbrokers as reflected in Title 3, Chapter 4 of the Cody City Code and agree to utilize “Leads On-Line” reporting software. Vote was unanimous.

Ordinance 2022-14 – Third and Final Reading.

An Ordinance Amending Title 8, Chapter 1, Article III, Section 13 of the Cody City Code to Modify and Set Electrical Service Rates and Changes. Council Member Baily made a motion seconded by Council Member Baily to approve Ordinance 2022-14 on third and final reading. Vote was unanimous.

Ordinance 2022-15 – First Reading

An Ordinance to Annex to the City of Cody 1.85 acres owned by Tim and Gina Leonhardt within Tract A of the Paddock Estates Subdivision, and to authorize the subdivision of the property along the annexation boundary. Council Member Rasmussen made a motion seconded by Council Member Fritz to approve Ordinance 2022-15 on first reading. Vote was unanimous.

Ordinance 2022-16 First Reading

An Ordinance to Rezone 1.85 acres being annexed by Ordinance 2022-16 as Medium-High Density Residential (R-3). Council Member Rasmussen made a motion seconded by Council Member Ballard to approve Ordinance 2022-16 on first reading. Vote was unanimous.

Mayor Hall adjourned the meeting at 7:49 p.m.

Matt Hall, Mayor

Barbara Curless, Deputy City Clerk

Name	Description	Amount
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City of Cody
Council Proceedings
Tuesday, September 13, 2022

A special meeting of the Cody City Council was held in Council Chambers of Cody City Hall on Tuesday, September 13, 2022 at 5:30 p.m.

Present: Mayor Hall, Council Members Diane Ballard, Andy Quick, Heidi Rasmussen, Emily Swett, Justin Baily and Jerry Fritz, City Administrator, Barry Cook, Attorney Scott Kolpitcke and Administrative Services Officer, Cindy Baker

Absent: None

Mayor Matt Hall called the meeting to order at 5:30 p.m.

Lisa Peterman, provided the Governing Body with information relating to a Crisis Intervention Grant and requesting a Letter of Support. Staff was directed to put this item on the 9/20 meeting for consideration.

Todd Stowell City Planner discussed the Contractor's Board, Number of Members and Make Up of Board and potential ordinance change. Staff was directed to discuss with the current Contractors' Board and proceed if there are no objections.

Cindy Baker, Administrative Services Officer, discussed with the Governing Body the Liquor Ordinance changes and updates. Staff was given direction and will bring the ordinances to a future meeting for first reading.

Barry Cook, City Administrator, discussed with the Governing Body an Employee Benefits Survey and potential benefit changes. Staff was directed on which options to move forward with.

City Administrator, Barry Cook discussed Citizen Communication- Proactive Marketing, Education and/or Effective Notifications & Alert. Staff was directed to create an RFP for professional services to assist with this process.

Mayor Hall adjourned the Work Session at 6:58 p.m.

Cindy Baker
Administrative Services Officer

Matt Hall
Mayor

City of Cody
Council Proceedings
Tuesday, September 27, 2022

A special meeting of the Cody City Council was held in Council Chambers of Cody City Hall on Tuesday, September 27, 2022 at 5:30 p.m.

Present: Mayor Hall, Council Members Diane Ballard, Andy Quick, Heidi Rasmussen, Emily Swett, and Jerry Fritz, City Administrator, Barry Cook, Attorney Scott Kolpitcke and Administrative Services Officer, Cindy Baker

Absent: Council Member Justin Baily.

Mayor Matt Hall called the meeting to order at 5:30 p.m.

Bert Pond provided the Governing Body with an update from the Wyoming Municipal Power Agency.

Phillip Bowman, Public Works Director, discussed replacing the motor grader purchase with a snow windrow machine in FY22-23 from the Vehicle Replacement Fund. Council agreed with staff recommendation and provided staff direction.

Todd Stowell, City Planner, discussed Planning & Zoning Board's work related to potential changes to the zoning Ordinance. No action was taken.

City Administrator provided the Governing Body with an update relating to Communications and engagement consultant RFP. No action was taken.

Mayor Hall adjourned the Work Session at 6:36 p.m.

Cindy Baker
Administrative Services Officer

Matt Hall
Mayor

Report Criteria:

Invoice Detail.Input date = 09/27/2022

Invoice.Batch = {NOT LIKE} "1"

Secondary Name	Invoice	Description	Invoice Date	Total Cost
ACKER ELECTRIC INC (270)				
	ELC-0922-0003	REFUND OVERPAYMENT ON ELC-0922-0003	09/06/2022	12.50
Total :				12.50
Total ACKER ELECTRIC INC (270):				12.50
ASHERMAN, LILLIAN (133076)				
	2.0930.43	UTILITY DEPOSIT REFUND	09/15/2022	68.44
Total :				68.44
Total ASHERMAN, LILLIAN (133076):				68.44
ASSOCIATED CONSTRUCTION ENGINEERING INC (132940)				
	27726	Engineering Svcs - City Hall HVAC	09/21/2022	1,336.00
Total :				1,336.00
Total ASSOCIATED CONSTRUCTION ENGINEERING INC (132940):				1,336.00
BASIN MECHANICAL (980)				
	3079	REPAIRS FOR ADA LIFT IN POOL	09/20/2022	3,382.50
Total :				3,382.50
Total BASIN MECHANICAL (980):				3,382.50
BRUNKO, STETSON (133078)				
	14.5050.43	UTILITY DEPOSIT REFUND	09/20/2022	350.16
Total :				350.16
Total BRUNKO, STETSON (133078):				350.16
CODY TREE SURGERY (131773)				
	2085	FERTILIZER APPLICATION PARKS	09/14/2022	2,274.00
	2085	FERTILIZER APPLICATION HARDBALL FIELDS	09/14/2022	630.00
Total :				2,904.00
Total CODY TREE SURGERY (131773):				2,904.00
CUSTOM DELIVERY SERVICE INC (3343)				
	306395	CO5 PARTS PICKUP	09/14/2022	27.75
	314628	CO5 PARTS TO BILLINGS	09/13/2022	27.75
	314630	SAMPLE SHIPPING	09/14/2022	39.96
Total :				95.46
Total CUSTOM DELIVERY SERVICE INC (3343):				95.46
CUSTOM GARAGE DOOR LLC (127015)				
	5559	GARAGE DOOR ON SHOP SHED	09/11/2022	1,620.00

Secondary Name	Invoice	Description	Invoice Date	Total Cost
Total :				1,620.00
Total CUSTOM GARAGE DOOR LLC (127015):				1,620.00
DAMELIO, CHRISTOPHER (131349)				
	20.0230.11	UTILITY DEPOSIT REFUND	09/21/2022	135.18
Total :				135.18
Total DAMELIO, CHRISTOPHER (131349):				135.18
DESERT MOUNTAIN CORPORATION (133075)				
	22-100072	MAG CHLORIDE COUGAR AVE	09/08/2022	1,693.20
Total :				1,693.20
Total DESERT MOUNTAIN CORPORATION (133075):				1,693.20
ENERGY LABORATORIES, INC (4120)				
DEPARTMENT 6250	503074	WATER TESTING	09/19/2022	160.00
Total :				160.00
Total ENERGY LABORATORIES, INC (4120):				160.00
ENGINEERING ASSOCIATES (4140)				
	4209012	ENGINEERING SERVICES - AUDITORIUM BEARING PAD REPLACEMENT	09/20/2022	7,172.96
	4209013	PROJECT 14111-04 WWTF PHASE 2	09/20/2022	1,581.82
	4209013	PROJECT 14111-04 WWTF PHASE 2	09/20/2022	483.33
	4209013	PROJECT 14111-04 WWTF PHASE 2	09/20/2022	2,328.80
	4209014	ENGINEERING SERVICES - YRA TREATED WATERLINE REPL	09/20/2022	1,652.50
	4209015	ENGINEERING SERVICES - WEST AVE RAW WATER LINE EXTENSION	09/20/2022	703.00
Total :				13,922.41
Total ENGINEERING ASSOCIATES (4140):				13,922.41
FRANDSON SAFETY, INC. (130638)				
	94595	CHLORINE SENSOR REPAIRS	08/30/2022	812.50
	94713	CHLORINE SENSOR TESTING	09/06/2022	80.85
Total :				893.35
Total FRANDSON SAFETY, INC. (130638):				893.35
GROATHOUSE CONSTRUCTION (4680)				
	BLD-0622-0010	REFUND OVERPAYMENT ON BLD-0622-0010	09/06/2022	947.00
Total :				947.00
Total GROATHOUSE CONSTRUCTION (4680):				947.00
HARRIS TRUCKING AND CONSTRUCTION CO. (4780)				
	092122	YRA TREATED WATERLINE REPLACEMENT RETAINAGE PAYOUT	09/21/2022	8,171.26
	092122	YRA TREATED WATERLINE REPLACEMENT RETAINAGE		

Secondary Name	Invoice	Description	Invoice Date	Total Cost
		INTEREST	09/21/2022	26.36
	138091	ASPHALT - AUDITORIUM FIRE LINE	09/11/2022	4,702.05
Total :				12,899.67
Total HARRIS TRUCKING AND CONSTRUCTION CO. (4780):				12,899.67
HUBER, WESLEY L (123442)				
EAGLE OF CODY PRINTING	91622	#10 ENVELOPES	09/16/2022	106.00
EAGLE OF CODY PRINTING	91622	#10 ENVELOPES	09/16/2022	105.00
EAGLE OF CODY PRINTING	91622	#10 ENVELOPES	09/16/2022	105.00
Total :				316.00
Total HUBER, WESLEY L (123442):				316.00
HUGHES, PAMELA (133054)				
	45146922	REC CENTER REFUND	08/31/2022	176.25
Total :				176.25
Total HUGHES, PAMELA (133054):				176.25
INTERWEST SAFETY SUPPLY, LLC (130571)				
	70543	TRAFFIC CONES	09/12/2022	3,557.25
Total :				3,557.25
Total INTERWEST SAFETY SUPPLY, LLC (130571):				3,557.25
JONES, DURWARD D (133082)				
	09212022	WITNESS FEES - MC-2207-002	09/21/2022	15.00
Total :				15.00
Total JONES, DURWARD D (133082):				15.00
LEADSONLINE (131897)				
	327868	ANNUAL MEMBERSHIP FEE	06/15/2022	2,537.00
Total :				2,537.00
Total LEADSONLINE (131897):				2,537.00
MANN, LISA (133086)				
	13.7039.11	REFUND AUTO-PAY AMOUNT	09/23/2022	467.73
Total :				467.73
Total MANN, LISA (133086):				467.73
MASON, LINDA D (133083)				
	09212022	WITNESS FEES - MC-2207-060	09/21/2022	15.00
Total :				15.00
Total MASON, LINDA D (133083):				15.00

Secondary Name	Invoice	Description	Invoice Date	Total Cost
MASON, RODNEY M (133084)				
	09212022	WITNESS FEES - MC-2207-060	09/21/2022	15.00
Total :				15.00
Total MASON, RODNEY M (133084):				15.00
MORRISON-MAIERLE INC (130985)				
	225288	2020 CODY SIDEWALK & PEDESTRIAN RAMP IMPROVEMENTS	09/07/2022	3,682.19
	225288	2020 CODY SIDEWALK & PEDESTRIAN RAMP IMPROVEMENTS	09/07/2022	14,728.76
Total :				18,410.95
Total MORRISON-MAIERLE INC (130985):				18,410.95
NORTHERN GARDENS (7340)				
	98551	TREE PLANTINGS	08/29/2022	1,753.00
	98552	TREE PLANTINGS	08/29/2022	3,415.00
	98693	TREE PLANTINGS	08/29/2022	2,465.00
Total :				7,633.00
Total NORTHERN GARDENS (7340):				7,633.00
NORTHWEST PIPE (7400)				
	7799636	RW PARTS	09/12/2022	1,873.33
Total :				1,873.33
Total NORTHWEST PIPE (7400):				1,873.33
PARK COUNTY ANIMAL SHELTER (5120)				
	10012022	ANIMAL SERVICE CONTRACT - OCT 2022	10/01/2022	4,166.67
Total :				4,166.67
Total PARK COUNTY ANIMAL SHELTER (5120):				4,166.67
PARK COUNTY TREASURER (7760)				
	09162022	PROPERTY TAXES	09/16/2022	46,341.61
	09162022	PROPERTY TAXES	09/16/2022	21,214.07
	09162022	PROPERTY TAXES	09/16/2022	21,214.07
Total :				88,769.75
Total PARK COUNTY TREASURER (7760):				88,769.75
PARK DISTRICT COURT (132610)				
	09192022	GARNISHMENT Civil #29877	09/19/2022	196.97
Total :				196.97
Total PARK DISTRICT COURT (132610):				196.97
RAPID FIRE PROTECTION, INC (129543)				
	40117	BACKFLOW TESTING	09/13/2022	1,485.00
	40339	CORE INTO AUDITORIUM FOR WATERLINE FOR FIRE		

Secondary Name	Invoice	Description	Invoice Date	Total Cost
		SUPPRESSION SYSTEM	09/15/2022	1,375.00
Total :				2,860.00
Total RAPID FIRE PROTECTION, INC (129543):				2,860.00
RIMROCK TIRE INC (8530)				
	2-229539	LOADER TIRE REPAIR	09/14/2022	135.95
Total :				135.95
Total RIMROCK TIRE INC (8530):				135.95
RIVERS, JOSHUA (133073)				
JOSH RIVERS AUDIO	0001	SOUND TECHNICIAN FEES	09/10/2022	400.00
Total :				400.00
Total RIVERS, JOSHUA (133073):				400.00
ROCKY MOUNTAIN POWER (7570)				
	09192022	UTILITIES	09/19/2022	27.71
	09192022	UTILITIES	09/19/2022	255.80
Total :				283.51
Total ROCKY MOUNTAIN POWER (7570):				283.51
SAGE PUBLISHING COMPANY (2590)				
CODY ENTERPRISE	10192022	SUBSCRIPTION	09/26/2022	40.00
Total :				40.00
Total SAGE PUBLISHING COMPANY (2590):				40.00
SCHMEISER, CHRISTY (133077)				
	17.9060.12	UTILITY DEPOSIT REFUND	09/19/2022	250.97
Total :				250.97
Total SCHMEISER, CHRISTY (133077):				250.97
STANTEC CONSULTING SERVICES INC (132890)				
	1975489	Big Horn Ave Study	09/08/2022	6,903.05
Total :				6,903.05
Total STANTEC CONSULTING SERVICES INC (132890):				6,903.05
SYSTEMS GRAPHICS INC (129162)				
ADVANCED INFO SYSTEMS	15932	OUTSOURCE BILLS	09/15/2022	16.02
ADVANCED INFO SYSTEMS	15932	OUTSOURCE BILLS	09/15/2022	98.99
ADVANCED INFO SYSTEMS	15932	OUTSOURCE BILLS	09/15/2022	90.63
ADVANCED INFO SYSTEMS	15932	OUTSOURCE BILLS	09/15/2022	90.02
ADVANCED INFO SYSTEMS	15932	OUTSOURCE BILLS	09/15/2022	111.86
ADVANCED INFO SYSTEMS	15933	OUTSOURCE BILLS	09/23/2022	7.08
ADVANCED INFO SYSTEMS	15933	OUTSOURCE BILLS	09/23/2022	43.78
ADVANCED INFO SYSTEMS	15933	OUTSOURCE BILLS	09/23/2022	40.09

Secondary Name	Invoice	Description	Invoice Date	Total Cost
ADVANCED INFO SYSTEMS	15933	OUTSOURCE BILLS	09/23/2022	39.82
ADVANCED INFO SYSTEMS	15933	OUTSOURCE BILLS	09/23/2022	49.47
Total :				587.76
Total SYSTEMS GRAPHICS INC (129162):				587.76
TAPCO INC (133074)				
	I733302	PED LIGHTS AT SUNSET SCHOOL	08/10/2022	8,364.50
	I735903	RFB LIGHTS SUNSET SCHOOL	09/13/2022	839.50
Total :				9,204.00
Total TAPCO INC (133074):				9,204.00
THE OFFICE SHOP INC (7440)				
	215694	COPIER CONTRACT - CITY SHOP	09/26/2022	13.13
	215694	COPIER CONTRACT - CITY SHOP	09/26/2022	13.12
	215694	COPIER CONTRACT - CITY SHOP	09/26/2022	11.58
	215694	COPIER CONTRACT - CITY SHOP	09/26/2022	13.12
	215694	COPIER CONTRACT - CITY SHOP	09/26/2022	13.12
	215694	COPIER CONTRACT - CITY SHOP	09/26/2022	13.12
Total :				77.19
Total THE OFFICE SHOP INC (7440):				77.19
TRAVERSE, JEREMY (133085)				
	45796810	REC CENTER REFUND	09/22/2022	225.00
Total :				225.00
Total TRAVERSE, JEREMY (133085):				225.00
VANTHUYNE, NICOLE (132024)				
	45533031	REC CENTER REFUND	09/13/2022	65.00
Total :				65.00
Total VANTHUYNE, NICOLE (132024):				65.00
WELLS FARGO COMMERICAL CARD (132565)				
	09232022	Citizens Academy 09.21.22	09/23/2022	102.67
	09232022	C04 Car Wash	09/23/2022	9.00
	09232022	4"" GRC	09/23/2022	506.00
	09232022	community first aid cpr	09/23/2022	70.00
	09232022	Cards printed for Helmet Program	09/23/2022	61.35
	09232022	Evidence to Lab	09/23/2022	7.66
	09232022	Name tapes for Tac Team	09/23/2022	33.15
	09232022	#10 wire	09/23/2022	1,004.14
	09232022	PVC glue ; marking tape	09/23/2022	377.08
	09232022	Monitors	09/23/2022	827.40
	09232022	Software subscription	09/23/2022	108.00
	09232022	Pickleball	09/23/2022	42.24
	09232022	Evidence to Lab	09/23/2022	7.66
	09232022	spark plugs B19	09/23/2022	52.50
	09232022	Irrigation	09/23/2022	13.25
	09232022	FR Clothing	09/23/2022	188.97

Secondary Name	Invoice	Description	Invoice Date	Total Cost
	09232022	PARTS RETURN	09/23/2022	87.16-
	09232022	marking paint	09/23/2022	16.98
	09232022	FR Clothing	09/23/2022	458.46
	09232022	PARTS REFUND	09/23/2022	234.91-
	09232022	WAM JPIC Insurance Board Quarterly Meeting	09/23/2022	175.00
	09232022	Breakroom supplies	09/23/2022	6.54
	09232022	parts for office chairs	09/23/2022	20.00
	09232022	sensor C05	09/23/2022	174.50
	09232022	FR Clothing	09/23/2022	258.96
	09232022	propane	09/23/2022	27.21
	09232022	propane	09/23/2022	1.43
	09232022	weed spraying supplies	09/23/2022	124.97
	09232022	Volt meter leads	09/23/2022	25.02
	09232022	shrink tube, fuses, couplers for light repair	09/23/2022	144.82
	09232022	C11 Car wash	09/23/2022	7.85
	09232022	PARTS REFUND	09/23/2022	286.58-
	09232022	sensors and gaskets C05	09/23/2022	625.38
	09232022	Presentation boards	09/23/2022	66.90
	09232022	Annual subscription	09/23/2022	50.00
	09232022	duct tape	09/23/2022	27.97
	09232022	C15 Car wash	09/23/2022	9.00
	09232022	Bac-T test	09/23/2022	30.00
	09232022	community CPR and 1st aid	09/23/2022	1.41
	09232022	Citizens Academy	09/23/2022	13.98
	09232022	Office Supplies	09/23/2022	23.77
	09232022	Batteries	09/23/2022	77.89
	09232022	cutlery,coffee	09/23/2022	103.14
	09232022	dish soap; air freshener	09/23/2022	26.29
	09232022	Sound Bar Speakers	09/23/2022	139.98
	09232022	repairs to HVAC	09/23/2022	442.50
	09232022	repairs to HVAC	09/23/2022	442.50
	09232022	repairs to showers	09/23/2022	21.52
	09232022	shower repair	09/23/2022	260.89
	09232022	repairs to shower	09/23/2022	260.89
	09232022	Shop supplies	09/23/2022	9.52
	09232022	C06 Car wash	09/23/2022	9.00
	09232022	repairs to boilers	09/23/2022	647.50
	09232022	repairs to boilers	09/23/2022	647.50
	09232022	LE bracelets for Faith & Blue weekends	09/23/2022	53.94
	09232022	Toner Cartridges	09/23/2022	206.89
	09232022	Duty belt, inner belt C15	09/23/2022	154.12
	09232022	gasket C05	09/23/2022	22.66
	09232022	repairs to chiller for pool area	09/23/2022	230.00
	09232022	propane	09/23/2022	26.27
	09232022	propane	09/23/2022	1.38
	09232022	spray body nozzle	09/23/2022	6.08
	09232022	line school,lusk	09/23/2022	42.35
	09232022	Meal for WYOPASS	09/23/2022	15.61
	09232022	parts cleaner and connectors	09/23/2022	108.76
	09232022	fittings D01 Lighting K05	09/23/2022	19.29
	09232022	Lodging for WYOPASS Conference	09/23/2022	258.00
	09232022	Meal for WYOPASS Conference	09/23/2022	7.42
	09232022	Duty shirts C11	09/23/2022	108.93
	09232022	Boots	09/23/2022	384.97
	09232022	Lodging for WYOPASS Conference	09/23/2022	258.00
	09232022	First Aid Cabinet w/Supplies	09/23/2022	91.26
	09232022	First Aid Cabinet w/Supplies	09/23/2022	91.25
	09232022	First Aid Cabinet w/Supplies	09/23/2022	182.51

Secondary Name	Invoice	Description	Invoice Date	Total Cost
	09232022	Shop supplies	09/23/2022	13.98
	09232022	seat recover B32	09/23/2022	210.00
	09232022	Rental	09/23/2022	55.00
	09232022	Meal for WYOPASS Conference	09/23/2022	5.30
	09232022	C24 Car wash	09/23/2022	7.50
	09232022	Wireless Mouse	09/23/2022	19.99
	09232022	conduit connectors	09/23/2022	106.25
	09232022	Fuel for WYOPass Conference	09/23/2022	38.08
	09232022	fuel for WRPA conference	09/23/2022	32.57
	09232022	tracer wire	09/23/2022	138.17
	09232022	shirts	09/23/2022	135.96
	09232022	Police interviews meals	09/23/2022	65.27
	09232022	WYOPASS Lunch	09/23/2022	11.40
	09232022	Coffee, sugar, creamer	09/23/2022	254.77
	09232022	Paper towels	09/23/2022	20.98
	09232022	Mallett	09/23/2022	14.99
	09232022	gas for travel to conference	09/23/2022	40.06
	09232022	line school, lusk	09/23/2022	26.75
	09232022	valve B32	09/23/2022	170.15
	09232022	brass valves	09/23/2022	410.24
	09232022	External hard drives	09/23/2022	772.06
	09232022	Portable hard drive	09/23/2022	199.99
	09232022	Mechanical Keyboard	09/23/2022	94.99
	09232022	Shop supplies	09/23/2022	52.97
	09232022	lodging for conference	09/23/2022	247.47
	09232022	water	09/23/2022	21.00
	09232022	Wyopass Conference Dinner	09/23/2022	19.55
	09232022	Wyopass Conference Dinner	09/23/2022	15.45
	09232022	Lodging for WYOPASS CONFERENCE	09/23/2022	129.00
	09232022	cleaners	09/23/2022	74.02
	09232022	Mower	09/23/2022	88.76
	09232022	repair clamp	09/23/2022	332.38
	09232022	return curb stops	09/23/2022	1,540.75-
	09232022	tapping saddles	09/23/2022	299.42
	09232022	Toner Cartridge	09/23/2022	79.89
	09232022	Travel expenses for conference	09/23/2022	247.47
	09232022	propane	09/23/2022	25.50
	09232022	C10 Car Wash	09/23/2022	5.16
	09232022	Business cards C18, C26	09/23/2022	106.07
	09232022	PVC pipe	09/23/2022	36.57
	09232022	ECM C05	09/23/2022	217.50
	09232022	WYOPASS Fuel for Travel	09/23/2022	49.03
	09232022	line school lusk	09/23/2022	47.05
	09232022	broom	09/23/2022	9.18
	09232022	reamer	09/23/2022	77.79
	09232022	cleaner	09/23/2022	143.16
	09232022	street light base repair	09/23/2022	580.00
	09232022	WYOPASS Lunch	09/23/2022	7.55
	09232022	gasket and plug C05	09/23/2022	31.80
	09232022	safety boots	09/23/2022	103.99
	09232022	bucket teeth	09/23/2022	77.38
	09232022	Couplings	09/23/2022	20.98
	09232022	impact wrench	09/23/2022	219.99
	09232022	Duty coat C19	09/23/2022	237.60
	09232022	screw extractor set	09/23/2022	12.99
	09232022	winter work gloves	09/23/2022	188.91
	09232022	Industrial supplies	09/23/2022	12.99
	09232022	C17 Car wash	09/23/2022	9.00

Secondary Name	Invoice	Description	Invoice Date	Total Cost
	09232022	wiper pump F05	09/23/2022	16.13
	09232022	hand spot light	09/23/2022	99.00
	09232022	shower for locker room	09/23/2022	259.49
	09232022	shower for locker room	09/23/2022	259.48
	09232022	Line School Hotel Room	09/23/2022	237.00
	09232022	gasket B32	09/23/2022	76.34
	09232022	Replacement fobs A01, A10	09/23/2022	105.60
	09232022	line school lusk	09/23/2022	18.04
	09232022	line school lusk	09/23/2022	52.93
	09232022	strainer F05	09/23/2022	355.30
	09232022	bolts C05	09/23/2022	27.76
	09232022	Line School Hotel Room	09/23/2022	237.00
	09232022	Irrigation	09/23/2022	17.98
	09232022	check valves	09/23/2022	619.36
	09232022	tape measure	09/23/2022	19.99
	09232022	line school, lusk	09/23/2022	59.08
	09232022	tapping saddle	09/23/2022	194.09
	09232022	repairs to aquatic air handler	09/23/2022	1,187.00
	09232022	shower repairs	09/23/2022	6.77
	09232022	shower repairs	09/23/2022	6.76
	09232022	random testing	09/23/2022	94.50
	09232022	random testing	09/23/2022	49.50
	09232022	random testing	09/23/2022	9.00
	09232022	random testing	09/23/2022	40.50
	09232022	random testing	09/23/2022	27.00
	09232022	random testing	09/23/2022	13.50
	09232022	random testing	09/23/2022	36.00
	09232022	brass valve	09/23/2022	246.36
	09232022	Contractor bags	09/23/2022	141.96
	09232022	Shop supplies	09/23/2022	23.97
	09232022	Water class	09/23/2022	47.45
	09232022	monitor	09/23/2022	199.00
	09232022	Disputed Charge Credit	09/23/2022	15.59-
	09232022	class refreshments	09/23/2022	17.98
	09232022	First Aid Supplies	09/23/2022	9.99
	09232022	Case supplement stamp C18, C26	09/23/2022	17.96
	09232022	advertising concerts	09/23/2022	530.00
	09232022	ads	09/23/2022	250.00
	09232022	vacancy ad	09/23/2022	144.00
	09232022	vacancy ad	09/23/2022	89.60
	09232022	vacancy ad	09/23/2022	198.00
	09232022	vacancy ad	09/23/2022	66.60
	09232022	citizens academy	09/23/2022	530.00
	09232022	finance ad	09/23/2022	277.00
	09232022	wage title name ad	09/23/2022	1,005.00
	09232022	minutes and other legal publication	09/23/2022	4,100.60
	09232022	riser pipe	09/23/2022	1,190.28
	09232022	propane	09/23/2022	24.85
	09232022	sound bar	09/23/2022	69.99
	09232022	Disputed Charge Credit	09/23/2022	15.59-
	09232022	Risk assessments	09/23/2022	303.83
	09232022	Kleenex	09/23/2022	25.50
	09232022	Tab dividers	09/23/2022	20.48
	09232022	Flash drives	09/23/2022	399.96
	09232022	Name plates C18, C26	09/23/2022	17.60
	09232022	computer	09/23/2022	1,015.00
	09232022	seat recover B23	09/23/2022	275.00
	09232022	rags	09/23/2022	6.59

Secondary Name	Invoice	Description	Invoice Date	Total Cost
	09232022	FR clothing	09/23/2022	524.93
	09232022	concerts in park ads	09/23/2022	552.00
	09232022	rec center marketing ads	09/23/2022	250.00
	09232022	FR clothing	09/23/2022	188.96
	09232022	Tow B45	09/23/2022	95.00
	09232022	propane	09/23/2022	24.00
	09232022	Soccer stakes	09/23/2022	6.59
	09232022	FR clothing	09/23/2022	69.98
	09232022	C11 Car wash	09/23/2022	4.00
	09232022	C03 Car wash	09/23/2022	9.00
	09232022	coil PT04	09/23/2022	49.02
	09232022	water	09/23/2022	23.96
	09232022	FR clothing	09/23/2022	209.94
	09232022	FR clothing	09/23/2022	136.48
	09232022	bowl cleaner and hook	09/23/2022	24.55
	09232022	seal F01	09/23/2022	75.90
	09232022	spray head for Bunn	09/23/2022	15.34
	09232022	spray head for Bunn	09/23/2022	15.34
	09232022	gasket B23	09/23/2022	7.25
	09232022	ARC Certification	09/23/2022	40.00
	09232022	fuel committee, Region III and WAM board meetings	09/23/2022	41.90
	09232022	Vest carrier, base shirt C19	09/23/2022	359.97
	09232022	Flight for Consultant Schultz	09/23/2022	528.20
	09232022	Toner Cartridges	09/23/2022	260.99
	09232022	C03 Duty Boots	09/23/2022	245.00
	09232022	Duty boots C12	09/23/2022	105.80
	09232022	Badge wallets	09/23/2022	826.23
	09232022	ziplocks	09/23/2022	7.18
	09232022	Evidence to Lab	09/23/2022	8.10
	09232022	Plumber tape	09/23/2022	7.18
	09232022	Subscription for County Documents	09/23/2022	100.00
	09232022	Utah	09/23/2022	28.20
	09232022	Utah	09/23/2022	18.80
	09232022	Utah	09/23/2022	70.50
	09232022	Utah	09/23/2022	70.50
	09232022	Utah	09/23/2022	47.00
	09232022	Mower gas cap	09/23/2022	79.28
	09232022	bearings rotary saw	09/23/2022	192.96
	09232022	ASAP snacks	09/23/2022	194.10
	09232022	C06 Car wash	09/23/2022	9.00
	09232022	C20 Car Wash	09/23/2022	9.00
	09232022	C17 Car wash	09/23/2022	15.00
	09232022	break room supplies	09/23/2022	431.01
	09232022	ASAP snacks	09/23/2022	337.13
	09232022	C05 Car wash	09/23/2022	9.00
	09232022	outdoor bulbs	09/23/2022	88.19
	09232022	C19 Car wash	09/23/2022	4.50
	09232022	batteries	09/23/2022	17.99
	09232022	rags	09/23/2022	38.57
	09232022	Evidence to Lab	09/23/2022	8.08
	09232022	Car Wash	09/23/2022	15.00
	09232022	grinder wheel	09/23/2022	47.31
	09232022	C04 Car Wash	09/23/2022	9.00
	09232022	propane	09/23/2022	22.75
	09232022	sealant	09/23/2022	17.97
	09232022	propane	09/23/2022	23.45
	09232022	C10 Car Wash	09/23/2022	9.00
	09232022	pool chemicals and reagents	09/23/2022	459.80

Secondary Name	Invoice	Description	Invoice Date	Total Cost
	09232022	pool chemicals and reagents	09/23/2022	459.79
	09232022	Gauze, ointment	09/23/2022	25.59
	09232022	Thermostat for Bunn	09/23/2022	7.78
	09232022	Thermostat for Bunn	09/23/2022	7.78
	09232022	TRAINING	09/23/2022	490.00
	09232022	C10 Car Wash	09/23/2022	9.00
	09232022	connectors, pvc connectors	09/23/2022	374.27
	09232022	Utilities	09/23/2022	24.24
	09232022	Utilities	09/23/2022	41.43
	09232022	Utilities	09/23/2022	41.43
	09232022	Utilities	09/23/2022	122.87
	09232022	Utilities	09/23/2022	41.43
	09232022	Utilities	09/23/2022	41.43
	09232022	Utilities	09/23/2022	630.56
	09232022	Utilities	09/23/2022	165.72
	09232022	Utilities	09/23/2022	32.32
	09232022	Utilities	09/23/2022	106.61
	09232022	Utilities	09/23/2022	89.91
	09232022	Utilities	09/23/2022	242.90
	09232022	Utilities	09/23/2022	40.01
	09232022	Utilities	09/23/2022	110.03
	09232022	Utilities	09/23/2022	126.39
	09232022	Utilities	09/23/2022	234.18
	09232022	Utilities	09/23/2022	40.01
	09232022	Utilities	09/23/2022	41.43
	09232022	Utilities	09/23/2022	13.67
	09232022	Utilities	09/23/2022	132.56
	09232022	Utilities	09/23/2022	13.13
	09232022	Utilities	09/23/2022	13.67
	09232022	Utilities	09/23/2022	96.38
	09232022	Utilities	09/23/2022	52.13
	09232022	Utilities	09/23/2022	14.09
	09232022	Utilities	09/23/2022	96.38
	09232022	Utilities	09/23/2022	36.36
	09232022	Utilities	09/23/2022	297.72
	09232022	Utilities	09/23/2022	137.67
	09232022	Medical Supplies	09/23/2022	104.40
	09232022	drum deposit return	09/23/2022	35.00-
	09232022	Class A pants, Uniform accessories	09/23/2022	714.33
	09232022	2x2 woven gauze sponges	09/23/2022	15.60
	09232022	deliming spring for Bunn	09/23/2022	2.75
	09232022	deliming spring for Bunn	09/23/2022	2.74
	09232022	Edger maintenance	09/23/2022	39.56
	09232022	Utilities	09/23/2022	56.45
	09232022	Utilities	09/23/2022	88.03
	09232022	Utilities	09/23/2022	1,467.16
	09232022	Utilities	09/23/2022	56.45
	09232022	Utilities	09/23/2022	194.47
	09232022	Utilities	09/23/2022	543.25
	09232022	Utilities	09/23/2022	543.25
	09232022	Utilities	09/23/2022	72.40
	09232022	Utilities	09/23/2022	88.03
	09232022	Utilities	09/23/2022	194.47
	09232022	Utilities	09/23/2022	159.00
	09232022	Utilities	09/23/2022	200.37
	09232022	Utilities	09/23/2022	89.54
	09232022	filter and oil B29	09/23/2022	53.23
	09232022	battery A03, filters A03 A26 A27 A06 A21 A17 A01	09/23/2022	167.82

Secondary Name	Invoice	Description	Invoice Date	Total Cost
	09232022	filter B26, belt I11	09/23/2022	12.92
	09232022	filter B43	09/23/2022	3.15
	09232022	u joint and connector D12, filter B15 B14	09/23/2022	53.34
	09232022	heat shrink	09/23/2022	16.99
	09232022	filters C07 C08	09/23/2022	86.80
	09232022	filter B34	09/23/2022	5.29
	09232022	filter B08	09/23/2022	5.29
	09232022	battery B09, filter B40	09/23/2022	116.61
	09232022	double charge retun	09/23/2022	329.91-
	09232022	WYOPASS Conference Registration	09/23/2022	125.00
	09232022	Pepperball launcher and projectiles	09/23/2022	3,683.95
	09232022	Medical Supplies	09/23/2022	91.98
	09232022	Utilities	09/23/2022	358.00
	09232022	Iodine prep pads	09/23/2022	7.23
	09232022	Utilities	09/23/2022	1,849.68
	09232022	Utilities	09/23/2022	7,376.26
	09232022	Utilities	09/23/2022	391.65
	09232022	Utilities	09/23/2022	309.26
	09232022	Utilities	09/23/2022	812.65
	09232022	Utilities	09/23/2022	11,033.61
	09232022	Utilities	09/23/2022	1,151.15
	09232022	Utilities	09/23/2022	.09
	09232022	Utilities	09/23/2022	8,013.54
	09232022	Utilities	09/23/2022	8,010.63
	09232022	Utilities	09/23/2022	15.88
	09232022	Utilities	09/23/2022	1,150.14
	09232022	Utilities	09/23/2022	1,197.97
	09232022	Utilities	09/23/2022	1,197.97
	09232022	Utilities	09/23/2022	353.95
	09232022	Utilities	09/23/2022	1,025.27
	09232022	Utilities	09/23/2022	42.15
	09232022	Utilities	09/23/2022	11.00
	09232022	Utilities	09/23/2022	6.88
	09232022	Utilities	09/23/2022	455.87
	09232022	Utilities	09/23/2022	7.92
	09232022	Utilities	09/23/2022	7.92
	09232022	Utilities	09/23/2022	7.92
	09232022	Utilities	09/23/2022	7.92
	09232022	Utilities	09/23/2022	7.91
	09232022	wasp traps, spray	09/23/2022	63.95
	09232022	CPR masks	09/23/2022	79.95
	09232022	repairs to condensate pump in computer room	09/23/2022	685.00
	09232022	CO2	09/23/2022	44.15
	09232022	Galvanized fittings	09/23/2022	35.98
	09232022	Police Officer Candidate evaluation	09/23/2022	400.00
	09232022	12/2 wire	09/23/2022	543.70
	09232022	DEF	09/23/2022	329.91
	09232022	propane	09/23/2022	22.08
	09232022	MEETING	09/23/2022	7.80
	09232022	Tennis courts	09/23/2022	2,076.75
	09232022	Tennis courts	09/23/2022	1,651.95
	09232022	C01 Car wash	09/23/2022	11.00
	09232022	concerts in park ads	09/23/2022	330.00
	09232022	PW ADMIN VACANCY	09/23/2022	232.50
	09232022	POLICE IT VACANCY	09/23/2022	173.75
	09232022	FRONT DESK REC VACABCT	09/23/2022	109.00
	09232022	FACILITES VACANCY	09/23/2022	108.00
	09232022	music for fitness classes	09/23/2022	9.99

Secondary Name	Invoice	Description	Invoice Date	Total Cost
	09232022	Vehicle Maintenance Repair Software	09/23/2022	26.25
	09232022	Vehicle Maintenance Repair Software	09/23/2022	328.95
	09232022	Vehicle Maintenance Repair Software	09/23/2022	328.95
	09232022	Vehicle Maintenance Repair Software	09/23/2022	26.25
	09232022	Vehicle Maintenance Repair Software	09/23/2022	26.25
	09232022	Vehicle Maintenance Repair Software	09/23/2022	39.45
	09232022	Vehicle Maintenance Repair Software	09/23/2022	302.70
	09232022	Vehicle Maintenance Repair Software	09/23/2022	144.75
	09232022	Vehicle Maintenance Repair Software	09/23/2022	65.85
	09232022	Vehicle Maintenance Repair Software	09/23/2022	65.85
	09232022	Vehicle Maintenance Repair Software	09/23/2022	144.75
	09232022	Duty shirts C26	09/23/2022	127.60
	09232022	water classes	09/23/2022	159.25
	09232022	replacement parts for lifeguard chair	09/23/2022	217.00
	09232022	Duty pants C17	09/23/2022	288.64
	09232022	Uniform laundering C16	09/23/2022	5.60
	09232022	12 ton crimper	09/23/2022	4,720.00
	09232022	chain saw chains	09/23/2022	92.41
	09232022	C06 Car wash	09/23/2022	13.78
	09232022	ASAP Tiny Tots supplies	09/23/2022	37.88
	09232022	ammonia inhalant pouches	09/23/2022	17.90
	09232022	4x4 sterile non-woven gauze sponges	09/23/2022	163.82
	09232022	Galv bushings	09/23/2022	50.18
	09232022	water classes	09/23/2022	41.40
	09232022	Office Supplies	09/23/2022	25.42
	09232022	C12 Car wash	09/23/2022	9.00
	09232022	Flashlight holsters x4	09/23/2022	146.00
	09232022	Evidence to Lab	09/23/2022	7.96
	09232022	C20 Car Wash	09/23/2022	9.00
	09232022	batteries scada	09/23/2022	103.96
	09232022	expanding foam	09/23/2022	6.99
	09232022	Weed and Pest	09/23/2022	69.46
	09232022	C25 Car wash	09/23/2022	9.00
	09232022	Uniform Laundering C16	09/23/2022	13.45
	09232022	Utilities	09/23/2022	2,277.35
	09232022	Utilities	09/23/2022	81.23
	09232022	Utilities	09/23/2022	317.95
	09232022	Utilities	09/23/2022	9,797.97
	09232022	Utilities	09/23/2022	38.90
	09232022	scotchkote	09/23/2022	31.50
	09232022	spring G06	09/23/2022	42.08
	09232022	propane	09/23/2022	28.00
	09232022	ASAP supplies	09/23/2022	5.40
	09232022	CPD junior badges for Adopt-a-School program	09/23/2022	630.00
	09232022	battery for vacuum	09/23/2022	975.00
	09232022	aquatics custodial supplies	09/23/2022	602.21
	09232022	Rec custodial supplies	09/23/2022	602.20
	09232022	Horseshoe pits	09/23/2022	24.57
	09232022	C04 Car Wash	09/23/2022	9.00
	09232022	computer camera	09/23/2022	35.96
	09232022	C14 Car Wash	09/23/2022	9.00
	09232022	Shop supplies	09/23/2022	8.04
	09232022	Budget book binding	09/23/2022	4.50
	09232022	Ethernet Couplers	09/23/2022	16.89
	09232022	Tiny Tots supplies	09/23/2022	58.18
	09232022	30% discount credit applied to tac team gear order	09/23/2022	936.74-
	09232022	Adobe Sign Annual Subscription	09/23/2022	100.77
	09232022	Adobe Sign Annual Subscription	09/23/2022	369.49

Secondary Name	Invoice	Description	Invoice Date	Total Cost
	09232022	Adobe Sign Annual Subscription	09/23/2022	67.18
	09232022	Adobe Sign Annual Subscription	09/23/2022	33.59
	09232022	Adobe Sign Annual Subscription	09/23/2022	33.59
	09232022	Adobe Sign Annual Subscription	09/23/2022	302.31
	09232022	Adobe Sign Annual Subscription	09/23/2022	100.77
	09232022	Adobe Sign Annual Subscription	09/23/2022	67.18
	09232022	Adobe Sign Annual Subscription	09/23/2022	33.59
	09232022	Adobe Sign Annual Subscription	09/23/2022	235.13
	09232022	Adobe Sign Annual Subscription	09/23/2022	537.45
	09232022	Adobe Sign Annual Subscription	09/23/2022	403.08
	09232022	Adobe Sign Annual Subscription	09/23/2022	1,074.91
	09232022	brass parts and teflon tape	09/23/2022	43.99
	09232022	tape	09/23/2022	5.99
	09232022	rags	09/23/2022	22.58
	09232022	WRPA dues	09/23/2022	50.00
	09232022	WRPA conference	09/23/2022	175.00
	09232022	C11 Car wash	09/23/2022	6.09
	09232022	Meter Seal Inserts	09/23/2022	435.54
	09232022	nuts and bolts for hanger repair at rec	09/23/2022	7.80
	09232022	concerts in the park	09/23/2022	552.00
	09232022	rec center marketing advertisements	09/23/2022	1,000.00
	09232022	overcharge for hanger repair	09/23/2022	3.90-
	09232022	pre employment testing	09/23/2022	45.00
	09232022	pre employment drug test	09/23/2022	45.00
	09232022	random and pre employment drug test	09/23/2022	140.00
	09232022	boots	09/23/2022	280.00
	09232022	ELECTRIC MEETING	09/23/2022	7.80
	09232022	ASAP supplies	09/23/2022	34.80
	09232022	Office Supplies	09/23/2022	55.21
	09232022	Tiny Tots supplies	09/23/2022	18.98
	09232022	Office supplies	09/23/2022	35.98
	09232022	boots	09/23/2022	210.00
	09232022	boots	09/23/2022	230.00
	09232022	Bolts	09/23/2022	9.00
	09232022	Collapsible butt-stocks	09/23/2022	945.92
	09232022	office supplies	09/23/2022	129.59
	09232022	seal G06	09/23/2022	47.90
	09232022	Duty shirts & pants C26	09/23/2022	502.78
	09232022	TRT pants & shirt C12	09/23/2022	150.40
	09232022	UPS Battery replcement	09/23/2022	249.99
	09232022	RETURNED double mag pouches	09/23/2022	122.54-
	09232022	boots	09/23/2022	210.00
	09232022	caulk, insation, hole saw	09/23/2022	40.97
	09232022	sleeve B36	09/23/2022	100.63
	09232022	tire B03	09/23/2022	105.00
	09232022	concrete blade	09/23/2022	121.19
	09232022	Duty sunglasses C12	09/23/2022	115.02
	09232022	ball valve assembly for hydro ex	09/23/2022	357.79
	09232022	velcro for Tiny Tots	09/23/2022	13.87
	09232022	Duty belt & inner belt C26	09/23/2022	139.10
	09232022	Rifle slings & swivels	09/23/2022	1,287.40
	09232022	propane	09/23/2022	23.10
	09232022	cable extenders	09/23/2022	69.99
	09232022	3-Ring Binders	09/23/2022	82.98
	09232022	register shipping	09/23/2022	90.06
	09232022	def	09/23/2022	329.91
	09232022	silicone electrical grease, spreader	09/23/2022	34.98
	09232022	ASAP supplies	09/23/2022	127.07

Secondary Name	Invoice	Description	Invoice Date	Total Cost
	09232022	office supplies	09/23/2022	23.44
	09232022	Shop supplies	09/23/2022	11.98
	09232022	fittings D12	09/23/2022	79.71
	09232022	repairs to showers	09/23/2022	25.00
	09232022	hose adapter for boiler repairs	09/23/2022	4.99
	09232022	3-Ring Binders	09/23/2022	116.04
	09232022	fittings D12	09/23/2022	4.50
	09232022	Helmet visors for TRT	09/23/2022	3,142.69
Total :				140,695.70
Total WELLS FARGO COMMERICAL CARD (132565):				140,695.70
WESCO DISTRIBUTION CORP (131137)				
WESCO/KVA/MODERN WHOLESALE	872101	PIN INSULATORS, TIE TYPE	09/09/2022	288.00
Total :				288.00
Total WESCO DISTRIBUTION CORP (131137):				288.00
WEST PARK HOSPITAL (10500)				
DBA CODY REGIONAL HEALTH	A05837737	DUI BLOOD DRAW CPD CASE #22-610	09/06/2022	244.00
DBA CODY REGIONAL HEALTH	A05847710	DUI BLOOD DRAW CPD CASE #22-632	09/06/2022	244.00
DBA CODY REGIONAL HEALTH	A05847728	DUI BLOOD DRAW CPD CASE #22-634	09/06/2022	244.00
Total :				732.00
Total WEST PARK HOSPITAL (10500):				732.00
WESTERN UNITED ELECTRIC SUPPLY (10605)				
	6067875	LIGHTING ARRESTORS	08/29/2022	127.73
	6067909	WIRE, CONNECTORS, HARDWARE MISC	08/29/2022	16,462.74
Total :				16,590.47
Total WESTERN UNITED ELECTRIC SUPPLY (10605):				16,590.47
WYOMING CHILD SUPPORT (132047)				
	91922	Garnishment Remittance # 227551	09/19/2022	430.15
Total :				430.15
Total WYOMING CHILD SUPPORT (132047):				430.15
WYOMING STATE TREASURER (123070)				
UNCLAIMED PROPERTY DIVISION	92322	Unclaimed Property Remittance	09/23/2022	1,028.66
Total :				1,028.66
Total WYOMING STATE TREASURER (123070):				1,028.66
YELLOWSTONE ELECTRIC INC (133040)				
	36485	INSTALL FLOWMETER	08/08/2022	689.00
	36578	AERATOR REPAIR	08/22/2020	57.50
	36603	AERATOR REPAIR	08/23/2022	115.00
	36610	HOOK UP PUMP MOTOR	09/12/2022	115.00
	36617	AERATOR REPAIR	09/06/2022	172.50

Secondary Name	Invoice	Description	Invoice Date	Total Cost
Total :				1,149.00
Total YELLOWSTONE ELECTRIC INC (133040):				1,149.00
Grand Totals:				350,516.18
Payroll 09/25/2022				263,181.81
Total				613,697.99

Report GL Period Summary

MEETING DATE: 10/4/2022

DEPARTMENT: PUBLIC WORKS

PREPARED BY: ROB KRAMER

PRESENTED BY: PHILLIP BOWMAN

AGENDA ITEM SUMMARY REPORT

Bid 2022-12 (1) New 2023 Diesel Cab/Chassis and (1) New Automated Compaction Body

ACTION TO BE TAKEN:

Consider approval of the award of Bid 2022-12 to Floyd's Truck Center for (1) 2023 Freightliner cab and chassis with (1) Southwestern compaction body in the amount of \$261,229.00.

SUMMARY OF INFORMATION:

A request was made in FY 2022/2023 for the purchase of one new sanitation truck. This unit will be replacing a 2012 Freightliner, which will be kept as a backup unit.

Bid packets were sent to Floyd's Truck Center, Able Equipment, CMI-TECO, Northern Truck Equipment, Peterbilt of Wyoming, Olympic Sales Inc, Jackson Group Peterbilt and Fremont Motor Casper.

Two bidders submitted two bids. These bids were opened at City Hall on 9/20/2022.

Floyd's Truck Center submitted one bid for a 2023 Freightliner M2 106 cab and chassis with a Southwestern compaction body, in the amount of \$261,229.00.

Kois Brothers Equipment Co, Inc. submitted one bid for a 2023 Freightliner M2 106 cab and chassis with a G&S compaction body, in the amount of \$279,891.00.

Fremont Motor of Casper and Sheridan submitted letters of no bid.

FISCAL IMPACT

Funding, in the amount of \$262,403.00 was budgeted for and approved in the Fiscal Year 2022/2023 budget.

ATTACHMENTS

1. Floyd's Truck Center Submitted Bid

AGENDA & SUMMARY REPORT TO:

AGENDA ITEM NO. _____

1. Kevin Chafee, Floyd's Truck Center, kchafee@floydstrucks.com
2. Roy Pilcher, Kois Brothers Equipment Co, Inc., rpilcher@koisbrothers.com

Bid Proposal Form
**Bid No. 2022-12 (1) New 2023 Diesel Cab/Chassis and (1) New Automated
Compaction Body**

City of Cody, Wyoming

Governing Body
City of Cody
PO Box 2200
1338 Rumsey Avenue
Cody, WY 82414



The undersigned Bidder agrees to provide **(1) New 2023 Diesel Cab/Chassis and (1) New Automated Compaction Body**, free and clear of all liens of any kind, pursuant to the specifications and invitation to bid. The bid price shall be F.O.B. City of Cody Vehicle Maintenance Shop 119 19th Street, Cody, WY 82414.

Bid Schedule	Quantity	Unit	Total Price
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Bid for:	\$ <u>261,229.00</u>
Less trade if any:	\$(<u>N/A</u>)
Net Total Bid	\$ <u>261,229.00</u>

The undersigned warrants that he/she has read and understands the requirements of the City of Cody, that he/she encloses a bid bond in the amount of not less than **five percent (5%)** of the "TOTAL BID" amount, and that the bid price represents all costs to the City of Cody including delivery, setup, installation and testing of providing the unit in accordance with the specifications therefore. All bid guarantees must be received in the form of a bid bond, cashier's check or money order. No personal or business checks will be accepted as a bid guarantee. If a bid is received without the necessary 5% bid guarantee it will be rejected. The undersigned further understands that the Governing Body of the City of Cody shall determine in its sole discretion the most responsible bidder, and the Governing Body may reject any and all bids or make substitutions, waive defects deemed unsubstantial in any bid, and that if an award is made, the Governing Body will award the bid in the best interest of the City. Award of bid is subject to budget appropriation for this purchase.

The offer made herein shall be binding for 60 days after the date of bid opening.

Award of bid shall be made by Notice of Award, which shall be accompanied by a binding agreement to supply the unit pursuant to the bid documents. Bidder warrants that Bidder has read the proposed agreement and agrees to the terms and conditions contained therein. The unit shall be delivered and tested within the time frame specified by the Bidder upon receipt of order.

Payment shall be made within 30 days after the delivery and acceptance of the unit.

Date 9/19/2022



Signature

KEVIN CHAFEE

Typed or Printed Name
JACK'S TRUCK CENTER, INC dba
FLOYD'S TRUCK CENTER - WY

Company

P.O. Box 1628

Mailing Address

GILLETTE, WY 82717

City, State and Zip

kchafee@floyds trucks.com

E-mail Address



TABLE OF CONTENTS

BID NO. 2022-12 (1) NEW 2023 DIESEL CAB/CHASSIS and (1) NEW AUTOMATED COMPACTION BODY

DOCUMENTS INCLUDED IN PACKET FOR BID NO 2022-12

	<u>Pages</u>
1. ADVERTISEMENT FOR BID (ON THIS PAGE, BELOW) ↓	1
2. INSTRUCTION SHEET	2
3. BID PROPOSAL	3
4. CAB AND CHASSIS SPECIFICATIONS	4-9
5. AUTOMATED COMPACTION BODY SPECIFICATIONS	10-16

For more information: City of Cody

307-527-7511

Bid No. 2022-12

**(1) New 2023 Diesel Cab/Chassis and
(1) New Automated Compaction Body**

The City of Cody will receive sealed bids until 2:00 p.m. on 9/8/2022 at Cody City Hall, 1338 Rumsey Avenue, P.O. Box 2200, Cody, Wyoming 82414, for **(1) New 2023 Diesel Cab/Chassis and (1) New Automated Compaction Body**. All bids will be opened and read aloud at this time. Full bid details and specifications are included in the bid packet available by emailing kylieh@codywy.gov. Direct any questions to Rob Kramer at 587-2958, option 2.

The City reserves the right to reject any and/or all bids and further reserves the right to waive any informalities if deemed in the best interest of the City. No bid may be considered unless accompanied by the required bid guarantee of 5% of the total bid amount.

Dated this 19th Day of August, 2022.

Cynthia Baker
Administrative Services Officer

PUBLISH: August 25th, 2022
September 1st, 2022



**INSTRUCTIONS: (1) New 2023 Diesel Cab/Chassis and
(1) New Automated Compaction Body
BID REQUEST NUMBER 2022-12**

The Bidder agrees to provide **(1) New 2023 Diesel Cab/Chassis and (1) New Automated Compaction Body** free and clear of all liens of any kind, pursuant to the specifications and invitation to bid. The bidder shall complete every space in the Bid 2022-12 City of Cody Specifications Form on page 4-16 to indicate that the item being bid is exactly as specified. All (no) responses shall be explained in detail on an attached sheet. Bids will be accepted for consideration on any make or model that is equal or superior to the specifications.

The bidder warrants that he has read and understands the requirements of the City of Cody, that he encloses a bid bond in the amount of not less than **five percent (5%)** of the "TOTAL BID" amount, and that the bid price represents all costs to the City of Cody including delivery, setup, dealer preparation, and all other costs of providing the unit in accordance with the specifications therefore. All bid guarantees must be received in the form of a bid bond, cashier's check or money order. No personal or business checks will be accepted as a bid guarantee. If a bid is received without the necessary 5% bid guarantee it will be rejected. The undersigned further understands that the Governing Body of the City of Cody shall determine in its sole discretion the most responsible bidder, and may reject any and all bids or make substitution, waive defects it deems unsubstantial in any bid, and that if an award is made, they will award the bid in the best interest of the City. Award of bid is subject to budget appropriation for this purchase.

In accordance with the provisions of Sections 16-6-101, 16-6-102 and 16-6-106 Volume 3, Title 9 of the Wyoming Compiled Statutes, 1977, preference is hereby given to resident Wyoming Contractors and to materials, supplies, equipment, machinery and provisions produced, manufactured, supplied or grown in Wyoming, quality being equal to articles offered by competitors outside the state. Bidders claiming preference must submit evidence of WY residency as defined in WY Statute Section 16-6-101.

The offer made herein shall be binding for 60 days after the date of bid opening.

Award of bid shall be made by Notice of Award, which shall be accompanied by a binding agreement to supply the unit pursuant to the bid documents. Bidder warrants that Bidder has read the proposed agreement and agrees to the terms and conditions contained therein. The unit shall be delivered and tested within the time frame specified by the Bidder upon receipt of order.

Payment shall be made within 30 days after the delivery and acceptance of the unit.

All material provided under this bid shall be new and unused. Bid documents may be obtained from:

City of Cody
P.O. Box 2200
1338 Rumsey Avenue
Cody, Wyoming 82414
(307) 527-7511

Bids are to be sealed and addressed to the City of Cody, 1338 Rumsey Avenue, P.O. Box 2200, Cody, Wyoming 82414 and shall be marked **"Bid No. 2022-12, (1) New 2023 Diesel Cab/Chassis and (1) New Automated Compaction Body"** on the outside of the envelope.

The sealed bids must be returned to the City of Cody no later than 2:00 p.m. on 9/8/2022. The bid opening will be held at that time at City Hall. The City reserves the right to reject any and/or all bids and further reserves the right to waive any informalities if deemed in the best interest of the City.

MINIMUM SPECIFICATIONS

(1) NEW 2023 DIESEL POWERED CAB & CHASSIS

THE BIDDER SHALL COMPLETE EVERY SPACE IN BIDDER'S RESPONSE COLUMN BY MARKING UNDER **YES** OR **NO** TO INDICATE THAT THE ITEM BEING BID IS EXACTLY AS SPECIFIED. ALL **NO** RESPONSES SHALL BE EXPLAINED IN DETAIL ON AN ATTACHED SHEET.

VEHICLE CONFIGURATION

- | | <u>YES</u> | <u>NO</u> |
|--|-------------------------------------|--------------------------|
| 1. Set back front axle. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Two door day cab with sit down RH drive with RH instrument cluster. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Hydraulic system setup to be transmission mounted PTO. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

FRAME

- | | | |
|--|-------------------------------------|--------------------------|
| 1. Gross Vehicle Weight: 62,000 lbs. minimum., this weight rating is due to the transmission rating. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Back of cab to trunnion measurement to accommodate successful trash compactor bidder's body (172"). | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. After frame over-hang to accommodate successful trash compactor bidder's body (96"). | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Heavy-duty minimum steel. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 5. 1/4" c-channel inner frame reinforcement. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 6. Two (2) front frame mounted tow hooks. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 7. Two (2) rear frame mounted tow hooks. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

FRONT AXLE

- | | | |
|---|-------------------------------------|--------------------------|
| 1. 20,000 lb. Front axle (Detroit or equivalent). -CHANGED ADDENDUM 2 | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. 20,000 lb. taper leaf front springs. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Heavy duty front shock absorbers. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Minimum SAE turning radius is to be 37 feet. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

REAR AXLE

YES NO

- | | | |
|---|-------------------------------------|--------------------------|
| 1. RT-46-160 46,000 lb. R-series tandem rear axles or equivalent with driver controlled locking differential in forward rear and rear-rear axle. Gear ratio to match truck builders' specs. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Tuftrac 46,000lb rear spring suspension or equivalent. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Cab mounted interaxle differential lock with lighted display. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

TRANSMISSION

- | | | |
|---|-------------------------------------|--------------------------|
| 1. Allison pushbutton controlled 3000 RDS automatic 6-speed transmission with PTO provision. Auto-Neutral with service brake wtec calibration (package 168) with dash mounted switch. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Vehicle interface wiring with body builder connector. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Transmission oil cooler. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Transynd synthetic fluid (tes-295 compliant). | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 5. Transmission to carry a min. 2 yr. unlimited mileage factory warranty. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

ENGINE

- | | | |
|--|-------------------------------------|--------------------------|
| 1. Diesel powered, minimum 350 H.P., electronic controlled with a minimum of 1050 LB/FT of torque. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. The largest two stage air cleaner available with outside intake, and air restriction indicator. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Heaviest duty radiator available. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Heavy duty coolant hoses with constant tension hose clamps. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 5. 115volt 1000 watt (min.) engine block heater with remote mount receptacle. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 6. Fuel/water separator with heater. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 7. Anti-freeze to -60F degrees below zero. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 8. Engine to carry a minimum 2-year, unlimited mileage warranty. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

ENGINE continued**YES** **NO**

9. Exhaust to be mounted outboard, right side under cab with vertical pipe mounted as far in from the corner of cab as to not obstruct the view of the operator.
10. High speed on/off fan drive or equivalent.
11. Minimum 18.7 C.F.C. air compressor.
12. Minimum 12volt 160 amp. alternator.

<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>

BRAKE SYSTEM

1. Dual air brake system with four-way ABS.
2. Parking brake shall have (4) spring brake chambers and a dash mounted warning light.
3. Bendix AD-9 or equivalent air dryer with heater.
4. Low air pressure warning light and alarm.
5. Minimum of 16.5"x6" front cam type brakes.
6. Minimum of 16"x7" rear cam type brakes.
7. Rock guards on all brakes.
8. BW (or equivalent) thermostatically controlled automatic purge valve on wet air tank.
9. All other air tanks to have a manual drain valve.
10. S-Cam type "Q" Series front and rear brakes with automatic slack adjusters or equivalent.
11. Air tanks to be mounted inboard or mounted in the cab entry steps above the exhaust system.

<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>

ELECTRICAL SYSTEM

1. Two (2) 31T type batteries with a combined minimum of 2000 C.C.A.
2. All lights and reflectors must conform to Wyoming and Federal D.O.T. regulations.

<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>

ELECTRICAL SYSTEM continued

3. Stop and turn lights to be LEDs.
4. Battery box to be located on left side of vehicle above the fuel Tank or in a manner not to interfere with the mounting of the compactor assembly.
5. Electrical backup alarm.
6. Battery disconnect switch.
7. Body builder wiring package.

<u>YES</u>	<u>NO</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>

FUEL TANK

1. Minimum capacity, 50 U.S. gallons.
2. Fuel tank to be mounted on left side of vehicle.
3. DEF tank of 6 gallon minimum, if required.

<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>

CAB EXTERIOR

1. Air cab mounts.
2. Grab handles right and left side.
3. Dual air horns with control on both left and right side.
4. Fully insulated cab.
5. Dual west coast mirrors with 8" convex mounted under primary mirrors, motorized, heated and adjustable from both sides of truck.
6. Right hand 8" fender mounted convex mirror. - SHOULD THIS BE LH?
7. Dual level cab entry steps on both sides.
8. Tinted glass.
9. Single color, "Bright White".

<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>

CAB INTERIOR

- | | <u>YES</u> | <u>NO</u> |
|--|-------------------------------------|--------------------------|
| 1. Dual steering with all gauges and controls located on both sides. All controls must function properly. No butt connectors and/or scotch locks, all added wiring must be soldered. <i>CHANGED ADDENDUM 1</i> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Heavy-duty floor mats. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. High output fresh air heater and defroster. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Variable speed, w/intermittent electric windshield wipers, both sides. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 5. Both operator and passenger seats to be light blue or gray cloth covered; air suspension, high back seats with arm rests. <i>EXCEPT BLACK</i> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 6. Factory installed air conditioning. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 7. Dual inside sun visors. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 8. Interior dome light. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 9. AM/FM/Bluetooth radio with dual speakers. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 10. Oil pressure and engine temperature gauges with audible alarm. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 11. Transmission temperature gauge. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 12. Volt meter. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 13. Engine hour meter. | <input type="checkbox"/> | <input type="checkbox"/> |
| 14. Air pressure gauge with audible low air warning. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 15. Engine tachometer. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

WHEELS AND TIRES

- | | | |
|---|-------------------------------------|--------------------------|
| 1. All wheels to be Disc type 22.5"x 8.25". <i>CHANGED ADDENDUM 1</i> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Front Tires: 11R22.5 16PLY rated, tubeless all-season radial. (Goodyear G661 HAS.) <i>CHANGED ADDENDUM 1</i> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Rear Tires: 11R22.5 16PLY rated, tubeless all-season radial. (Goodyear GS182 RSD.) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Wheels to be painted same as cab. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

MISCELLANEOUS

- | | <u>YES</u> | <u>NO</u> |
|---|-------------------------------------|--------------------------|
| 1. One complete set of manuals; repair, service, parts and operators. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Full factory warranty that applies to vehicle. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. One copy of the Dealer's order form showing the make, model and all equipment being bid. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Vehicle to be delivered to the factory of the successful bidder of the compactor body. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 5. The truck must have Auto-Neutral with service brake wtec calibration (package 168) with dash mounted switch in working order at the time of delivery. The truck will not be accepted until it is in working order. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 6. Wyoming Residency Certificate | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

**Specifications for Automated Container Loading, Right Hand
Side Load Truck Body for EMCO Hookup**

GENERAL DESCRIPTION

YES NO

- | | | |
|--|-------------------------------------|--------------------------|
| 1. The compaction body is to be an automated container loading and dumping device. It will have nominal capacity of 32 yards and be capable of compacting refuse and ejecting same from the body at the disposal site. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. The receiving hopper area will be approximately 12 cubic yards and will accommodate up to and including 4 cubic yard side-load containers without damage. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

COMPACTION BODY CONSTRUCTION

- | | | |
|---|-------------------------------------|--------------------------|
| 1. Hopper sides to be of a flat design with horizontal channel reinforcing. Lower panel to be a minimum $\frac{3}{16}$ " – A572 Grade 50 – 50,000 psi minimum yield up 48" from the floor. Upper panel to be a minimum 10 gauge – A572 – Grade 50 – 50,000 psi minimum yield. Channel reinforcing to be a minimum 4"x2"x10 gauge – A3HR – 36,000 minimum psi yield. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. The hopper floor to be constructed of minimum $\frac{1}{4}$ " – AR400 – 140,000 psi minimum yield strength abrasion resistant steel. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Hopper floor to be reinforced with a combination of minimum $\frac{1}{4}$ " – A38HR – 36,000 psi yield strength steel and 2"x3"x.25 H.S.S. and 4"x 3" x.25 H.S.S. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Body sill under the hopper area to be minimum $\frac{1}{4}$ " – 46,000 psi yield strength steel with a 10" cross section. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 5. Body hopper opening to be minimum 65" wide and 88" long with a depth from top of hopper shield to floor of 102". | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 6. The body is to be equipped with a hinged access door located on the side opposite the container loader in order to provide easy access to the hopper area. The minimum size of this door shall be approximately 44"x35" and be of one (1) piece $\frac{3}{16}$ " steel rolled to conform to the body curvature. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 7. The opening of the hopper shall be protected on three sides with a windscreen extending 10" above the top of the circumference of the body. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

COMPACTION BODY CONSTRUCTION continued**YES NO**

- | | | |
|--|-------------------------------------|--------------------------|
| 8. Front bulkhead constructed from formed plates consisting of three horizontal members spanning the width of the body and outer vertical plate which lies perpendicular to the horizontal spanning members, creating integral structure. Outer plate to also seal the bulkhead for effective liquid retention height of 22 ½" above body floor. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 9. Body roof shall be of rounded design, constructed of 10-gauge material, A572, grade 50 – 70,000 psi tensile strength – 50,000 psi minimum yield point strength steel. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 10. Body sides shall be of rounded design and constructed of 3/16" plate material, A517, grade 70 – 90,000 psi tensile strength steel (Pressure vessel tank material, one piece side.). | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 11. Body shall be reinforced at the upper most point where it joins the roof with a formed channel constructed of A572 grade, 50 annealed steel with a tensile strength of 90,000 psi. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 12. Body shall have no exterior stiffeners with a smooth surface. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 13. Mid-body reinforcing shall be a formed channel, constructed of 10-gauge, A570 grade 50 – 50,000 psi yield strength steel, 4 ½"x7". | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 14. Rear body reinforcing at door frame shall be a formed channel constructed of 10-gauge, A570 grade 50 – 50,000 psi yield strength steel, 4 ½"x7". | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 15. Body floor shall be part of the unibody and shall be of rounded design and constructed of 3/16" – 50,000 psi yield strength steel. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 16. Body shall have the capacity to hold approximately 1,200 gallons of liquid waste. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 17. Rear door to have a convex profile to direct material flow compaction and to ensure body fills completely. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 18. Rear door to have minimum 1 ½ cubic yard capacity and to be constructed of 10-gauge 50,000 psi yield strength steel. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 19. Rear door shall be attached to body with (2) heavy duty steel hinges of 1 ¼" diameter – 150,000 psi yield strength, rotating in a hardened bearing race. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

COMPACTION BODY CONSTRUCTION continued**YES NO**

20. Rear door shall have a water tight seal to prevent leakage. Seal shall be replaceable compression type seal attached to the body, extending along the full width of the body/door interface and minimum of 39" up the sides. ☒ ☐
21. Rear door shall be automatically latched and unlatched in sequence with rear door hydraulic lift cylinders. Latch hook shall be constructed of 1" thick – 100,000 psi yield strength steel which must be installed and removed manually to prevent accidental opening of the door. ☒ ☐
22. Federal Motor Carrier approved under-ride guard shall be welded to the bottom of the rear door and swing out of the way with the door when refuse is ejected. ☒ ☐

LOAD DISCHARGE

1. Load discharge shall be "full eject" type and be interlocked with the rear door so that it has to be open before the packer plate can pass the ½ pack point. ☒ ☐
2. On full eject, the opening of the rear door shall disable the auto cycle so the load discharge is controlled manually with the manual override packing controls. ☒ ☐
3. The packing/ejection blade shall be operated by (2) horizontally mounted crisscrossed hydraulic cylinders. Cylinders shall be three stage, 5 ½ x 4 ½ x 3 ½ bore, double acting and have chrome plated shafts. Cylinders shall be mounted above the floor to prevent damage, and are attached by 2" diameter pivot pins. ☒ ☐
4. Full eject operation shall take about 35 seconds, including the time to return the blade to the "home" position. ☒ ☐
5. A hydraulically activated plate shall be furnished to clear the hopper of refuse, compact the body and eject the load. ☒ ☐
6. Packer/ejection blade lower section shall be constructed of ¼" thick – 50,000 psi strength steel and the upper section shall be reinforced with vertical and horizontal boxed sections. ☒ ☐
7. Packer/ejection blade shall be supported on two 3"x46"x50" thick Wearform – 500, 100,00 psi yield strength wear plates. ☒ ☐

LOAD DISCHARGE continued**YES** **NO**

- | | | |
|--|-------------------------------------|--------------------------|
| 8. Shoes shall ride on a 3" wide x .50 Wearform-500 wear plates on bottom inside steel guide channels which are welded directly to the body side for extra strength. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 9. Shoes shall be replaceable by removing the packer/ejection blade. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

HYDRAULIC DESIGN

- | | | |
|---|-------------------------------------|--------------------------|
| 1. The hydraulic system shall have a maximum of 2,500 psi operating pressure. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Heavy-duty Commercial Intertech Model P350 single stage, engine driven hydraulic gear pump with a HI-GFM/LOW-RPM displacement design. Pump to deliver 66 GPM @ 1,800 RPM and shall be protected by an electric overspeed switch connected to the alternator. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Priority flow control device and dry valve to control pump. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Pump start-up and shut-down to be by means of a push/pull switch connected to an air-solenoid valve. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 5. Hydraulic system to utilize hoses and tubing which have a burst pressure rating of 3 1/2 times the maximum working pressure of 2,500 psi. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 6. Hydraulic system oil reservoir with a 70-gallon capacity, located on the opposite side of the lifting mechanism and mounted to the chassis frame. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 7. Hydraulic tank to have oil level/temperature gauge, visible from the ground with filter type breather cap and shut-off valve. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 8. Hydraulic filtration shall be a 100-mesh suction screen located on the suction side of the hydraulic tank, a 10-micron pressure filter (with indicator) located between the pump and valve assembly, and a 10-micron return filter (with indicator) located on the hydraulic tank. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 9. Red push button, located inside cab, to shut down the complete system. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

CONTROLS

- | | <u>YES</u> | <u>NO</u> |
|--|-------------------------------------|--------------------------|
| 1. Controls for all functions shall be located in the cab, within easy access to the operator. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Start-up/shut-down control shall utilize a push/pull switch with a large 2 3/8" diameter knob. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Lift, reach and grabber functions shall utilize dual compensating air valves in tandem or triple configurations. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Top-door options, when used, shall utilize a momentary contact switch in conjunction with a limit switch, a pressure switch and an adjustable timer (.01-10 seconds) to compact and crunch refuse. Compaction packer to automatically return. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 5. Eject/retract functions to be controlled by an electrical selector switch and a set of air valve. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 6. All movements of the loader (up, down, in, out) are to be accomplished with no more than three (3) cylinders. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 7. Loader is to be operated with two (2) air controls located within easy reach of the operator. These controls shall be of a "featherable" design, cables or chains will not be acceptable. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 8. Hydraulic valves are to be mounted outside the body for ease of maintenance. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

CONTAINER LOADER

- | | | |
|--|-------------------------------------|--------------------------|
| 1. Mounted on the right-hand side of compaction body. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Lifting mechanism shall be capable of handling 1 1/2, 3 and 4 cubic yard stationary steel containers. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Mechanism to consist of horizontal bar with container hook-up points on either end, achieving a horizontal plane motion via the extension and retraction of one double acting cylinder which slides the roller supported mechanism frame work back and forth through a horizontal track, mounted above the chassis framework, below the body floor. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Vertical motion of the mechanism shall be achieved through the extension and retraction of two double acting hydraulic cylinders which raise and lower the roller supported frame work through a vertical track. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

CONTAINER LOADER continued**YES** **NO**

- | | | |
|--|-------------------------------------|--------------------------|
| 5. Mechanism shall be simultaneously connected to a system of link bars attached to a pivot shaft which rotate the container for dumping purposes at its extreme vertical level. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 6. Mechanism shall be capable of serving containers from the ground level to dock height (approximately 48" from ground level). | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 7. Lifting mechanism will have a 48" reach from truck body to container. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 8. Unit shall have a grabber attachment for roll-out containers and must be a minimum of 8" above the ground. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

PAINT

- | | | |
|---|-------------------------------------|--------------------------|
| 1. The compaction body shall be painted white with the exception of the loader area and underneath the inspection door being painted black. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. The loader shall be painted black. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

LIGHTING AND WIRING

- | | | |
|--|-------------------------------------|--------------------------|
| 1. Lighting shall be in accordance with FMVSS. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Light bar at lower section of door with (2) stop/turn indicators on each side and (1) backup lamp on each side. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Mid-body signal combination marker lamp shall be located on each side of the unit, mid-lower body. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Body marker lamps to be located (1) in front on the top corner of each side. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 5. Rear body markers to be located in the rear door frame; (1) on the top and (1) on the bottom. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 6. Rear door to have a grouping of (1) on each side and (3) in the center. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 7. Indicator lights shall be the following colors; Retract-Yellow, Compact-Green, Overspeed-Blue, Tailgate Ajar-Red, Strobe/Work Lams-Amber. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 8. Electrical back-up alarm that is activated when the vehicle is in reverse. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Memo

TO: Vendors for Bid 2022-12

THRU: Rob Kramer, Streets and Vehicle Maintenance
Superintendent

FROM: Kylie Hanson, Administrative Secretary

DATE: August 29, 2022

RE: Addendum to Bid 2022-12



Please find below Addendum #1 for Bid 2022-12. If you have any questions or concerns, please feel free to call 587-2958, option 2.

ADDENDUM #1

Please note the following changes and additions to the bid specifications.

Replace "Cab Interior" #1 and "Wheels and Tires" #2 with the following:

CAB INTERIOR

1. Right-hand Drive Only

YES	NO
<input checked="" type="checkbox"/>	<input type="checkbox"/>

WHEELS AND TIRES

2. Front Tires: To Meet 20,000lb Front Axle Requirements

<input checked="" type="checkbox"/>	<input type="checkbox"/>
-------------------------------------	--------------------------

Memo

TO: Vendors for Bid 2022-12

THRU: Rob Kramer, Streets and Vehicle Maintenance
Superintendent

FROM: Kylie Hanson, Administrative Secretary

DATE: September 2, 2022

RE: Addendum to Bid 2022-12



Please find below Addendum #2 for Bid 2022-12. If you have any questions or concerns, please feel free to call 587-2958, option 2.

Due to recent events the date of the opening for Bid 2022-12 (1) New 2023 Diesel Cab/Chassis and (1) New Automated Compaction Body has been extended.

ADDENDUM #2

The City of Cody will receive sealed bids until 2:00 p.m., 9/20/2022 at Cody City Hall, 1338 Rumsey Ave, P.O. Box 2200, Cody, Wyoming 82414.

The sealed bids must be returned to the City of Cody no later than 2:00 p.m., 9/20/2022. The bid opening will be held at that time at City Hall.

Please note the following changes and additions to the bid specifications.

Replace "Front Axle" #1 with the following:

FRONT AXLE

1. 18,000 lb, Front axle (Detroit or equivalent.)

YES NO

✓ _____



City of Cody Agenda Request Form



In order to fully prepare the Council for their meetings, individuals wishing to appear before the Council are asked to complete the following information prior to placement on the agenda. You will be notified of the date you have been scheduled to appear. You may also be contacted by City staff prior to the meeting to address concerns or provide additional information. Some requests may not require appearing before the Council for approval.

Please provide the following detailed information relating to your concern or request. This form (and any relevant attachments) should be submitted in a timely manner, preferably at least 14 days prior to allow sufficient time for internal review. Untimely submission may result in the inability to be considered for approval. Council packets are prepared in advance prior to Tuesday meetings. Meetings are held the first and third Tuesday of each month. Please complete the following information in full and return to City of Cody PO Box 2200 Cody, WY 82414 (Fax 307-527-6532),

Name of person to appear before the Council Tina Hoebelheirich

Organization Represented Cody Chamber of Commerce

Date you wish to appear before the Council 10-4-2022

Email Address exec@codychamber.org Telephone 307.586.1571

Names of all individuals who will speak on this topic Tina Hoebelheirich

Event Title (if applicable) Halloween Trick-or-Treat

Date(s) of Event (if applicable) 10/31/2022

Location of Event (if applicable) Sheridan Avenue from 11th to 14th St.

Full description of topic to be discussed (include all relevant information including any street closures, times of event, any special requirements or request etc., attach additional sheet if necessary and map showing location of event where applicable) _____

Request Closure for Annual Trick-or-Treat
event.

Which City employee(s) have you spoken to about this issue? _____

Signature Tina Hoebelheirich Date 9/16/2022



WYOMING DEPARTMENT OF TRANSPORTATION
Special Event Application

APPLICATION

Event Name Halloween Trick or Treat Event Date 10/31/2022
Type of Event: Business hosted trick or treat
Event Director or Organizer Tina Hoebeheerich Telephone 584-1571
Address 836, Sheridan Ave Cody WY 82414 Email exec@codychamber.org
Club Affiliation or Sponsor Cody Country Chamber Estimated Number of Participants 1500

Course Information: ☒ Total closure ☐ Partial closure ☐ Remain open to traffic (Check appropriate box(s) (Explain in Event Description))

I (we) Cody Country Chamber of Commerce hereby make application for a special permit upon the right-of-way of:

highway _____ between milepost 9 11th St and milepost 14th St.
highway _____ between milepost _____ and milepost _____
highway _____ between milepost _____ and milepost _____
highway _____ between milepost _____ and milepost _____

on _____ between _____ and _____
Date Time Time

I (we) agree to strictly conform to the exhibits attached hereto, subject to all terms, conditions, agreements, stipulations and provisions contained in the application and permit, in Chapter XXIII rules and regulations of the Wyoming Department of Transportation, and any other applicable regulations, laws or ordinances.

EVENT DESCRIPTION (Attach event map):

Closure of Sheridan Avenue for child
safety during annual trick or treating
event.

Prior to the event, I (we) agree to review the course to determine potential problems that could endanger participants and equipment and to notify the participants of them. If I (we) determine the problems to be severe, I (we) agree to cancel the event.

WYOMING DEPARTMENT OF TRANSPORTATION
Special Event Application

APPLICATION

Permittee must provide a certificate of insurance as evidence of an existing Comprehensive or Commercial General Liability Policy, including contractual liability coverage, with limits not less than \$500,000.00 combined single limit for all claims arising out of a single accident or occurrence.

THE PERMITTEE SHALL DEFEND, HOLD HARMLESS AND INDEMNIFY THE STATE OF WYOMING, DEPARTMENT OF TRANSPORTATION AND ITS OFFICERS, AGENTS, EMPLOYEES AND MEMBERS FROM ALL SUITS OR ACTION WHICH MAY RESULT FROM ANY ACTIVITY BY THE PERMITTEE, ITS OFFICERS, SUBCONTRACTORS, AGENTS OR EMPLOYEES.

Tina Hoebelheirrich
Name (Please Print)
Tina Hoebelheirrich
Signature
9/16/22
Date (Minimum of 60 days prior to event)

Address

City, State and Zip

Telephone

Approval must be obtained from the city, town or county government if the closure restricts the use of any road, street or highway of the affected jurisdiction.

Approved by city or town if applicable

Name/Title (Please Print)

Signature/Title

Date

Address

City, State and Zip

Telephone

Approved by county if applicable

Name/Title (Please Print)

Signature/Title

Date

Address

City, State and Zip

Telephone



City of Cody Agenda Request Form



In order to fully prepare the Council for their meetings, individuals wishing to appear before the Council are asked to complete the following information prior to placement on the agenda. You will be notified of the date you have been scheduled to appear. You may also be contacted by City staff prior to the meeting to address concerns or provide additional information. Some requests may not require appearing before the Council for approval.

Please provide the following detailed information relating to your concern or request. This form (and any relevant attachments) should be submitted in a timely manner, preferably at least 14 days prior to allow sufficient time for internal review. Untimely submission may result in the inability to be considered for approval. Council packets are prepared in advance prior to Tuesday meetings. Meetings are held the first and third Tuesday of each month. Please complete the following information in full and return to City of Cody PO Box 2200 Cody, WY 82414 (Fax 307-527-6532),

Name of person to appear before the Council Tina Hoebeleinrich

Organization Represented Cody Country Chamber of Commerce

Date you wish to appear before the Council Oct 4, 2022

Email Address exec@codychamber.org Telephone 586-1571

Names of all individuals who will speak on this topic Tina Hoebeleinrich

Event Title (if applicable) Cody Cowboy Christmas

Date(s) of Event (if applicable) 11/26/2022

Location of Event (if applicable) Sheridan Ave 9th to 14th

Full description of topic to be discussed (include all relevant information including any street closures, times of event, any special requirements or request etc., attach additional sheet if necessary and map showing location of event where applicable)

Christmas stroll, street closure request.

From 4 to 8 pm on Nov. 26, 2022.

Events include parade at 6pm, children's activities, warming baskets, Advent service, caroling

Which City employee(s) have you spoken to about this issue? _____

Signature Tina Hoebeleinrich Date 9/16/22

PARADE PERMIT

City of Cody

Parade Information

We are delighted that you are interested in coordinating a parade here in Cody. In order to make this a safe and fun-filled event for participants and observers, following are some important points and reminders to review and understand.

- ✓ Your parade will use a staging area located next to the Cody Chamber of Commerce facilities on 9th Street. A detailed map of the staging area is provided on the opposite side of this form.
- ✓ Traffic control and the closure of the necessary streets will take place at the designated locations and times listed below.
- ✓ Your parade will depart promptly and proceed down the route shown on the opposite side of this form.
- ✓ The Parade officially starts at 9th and Sheridan Avenue and officially ends at the Sheridan Avenue and 15th Street intersection.
- ✓ Parade contestants will continue in formation back to the staging area via Beck Avenue until you reach the original area and then dissolve so that the groups behind you don't get jammed up anywhere on Sheridan Avenue.
- ✓ There will be Cody Police and or Public Works staff stationed at each street entrance on to Sheridan Avenue. Each "side street" will be barricaded so traffic will not enter onto Sheridan Avenue.
- ✓ The City of Cody will provide a "lead vehicle" for the beginning of the parade and a "follow vehicle" behind the last parade entry.

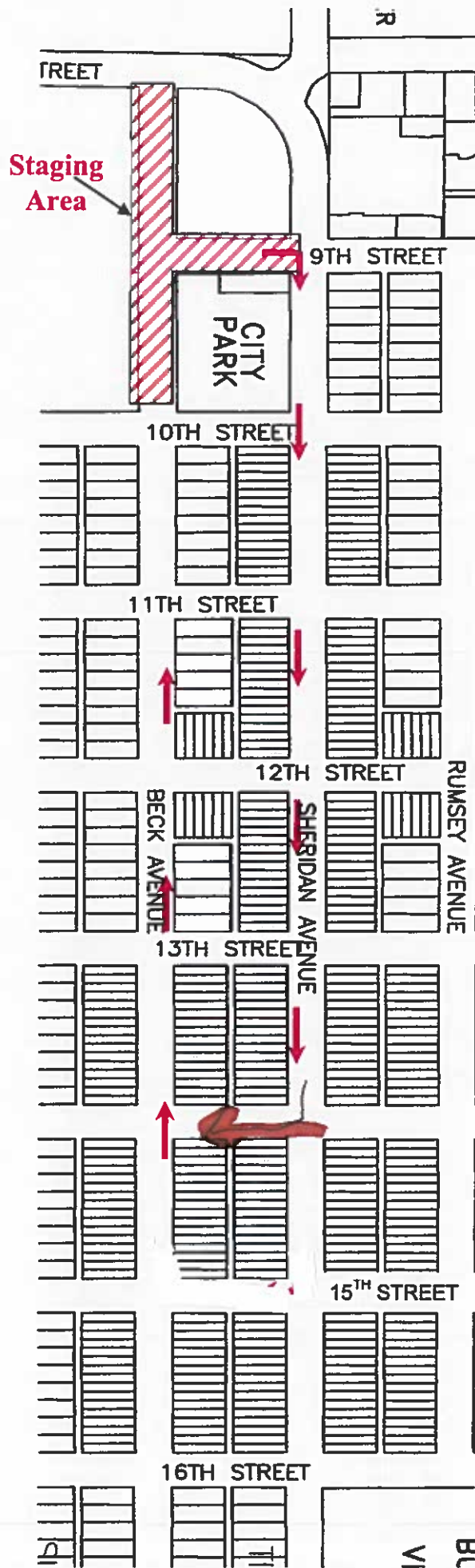
Approval: Final approval to have a parade will be made by the Mayor and City Council.

Permit Fee: The fee for the parade is \$100.00. You may ask the City Council to consider waiving this fee.

_____ Public Works Department	(approve) (disapprove) Date _____
_____ Police Department	(approve) (disapprove) Date _____
_____ City Council	(approve) (disapprove) Date _____

REQUEST INFORMATION:

Date of Parade 11/26/22 Time of Parade 6pm
Purpose of Parade Cody Cowboy Christmas
Contact Person (with phone numbers) _____
E-mail address exec@codychamber.org
Parade Contact Person (during the parade) Tina Hoebelherich
406.231.2263





WYOMING DEPARTMENT OF TRANSPORTATION
Special Event Application

APPLICATION

Event Name Cody Cowboy Christmas Event Date 11/26/22
Type of Event: Lighted Parade & Stroll
Event Director or Organizer Cody Chamber Telephone 307-586-1571
Address 830 Sheridan Ave, Cody Wyoming 82414 Email exec@codycchamber.org
Club Affiliation or Sponsor Cody Events Committee Estimated Number of Participants 600

Course Information: ☒ Total closure ☐ Partial closure ☐ Remain open to traffic (Check appropriate box(s) (Explain in Event Description)

I (we) The Cody County Chamber of Commerce hereby make application for a special permit upon the right-of-way of:

highway 14/16/20 between milepost 9th St and milepost 14th St.

highway _____ between milepost _____ and milepost _____

highway _____ between milepost _____ and milepost _____

highway _____ between milepost _____ and milepost _____

on November 26, 2022 between 4pm and 8pm
Date Time Time

I (we) agree to strictly conform to the exhibits attached hereto, subject to all terms, conditions, agreements, stipulations and provisions contained in the application and permit, in Chapter XXIII rules and regulations of the Wyoming Department of Transportation, and any other applicable regulations, laws or ordinances.

EVENT DESCRIPTION (Attach event map):

Christmas Stroll, Street closure request.
from 4pm to 8pm on Nov. 26, 2022.

Events include lighted Christmas Parade at 6pm,
Children's activities, warming barrels, advent
service, Caroling

Prior to the event, I (we) agree to review the course to determine potential problems that could endanger participants and equipment and to notify the participants of them. If I (we) determine the problems to be severe, I (we) agree to cancel the event.

WYOMING DEPARTMENT OF TRANSPORTATION
Special Event Application

APPLICATION

Permittee must provide a certificate of insurance as evidence of an existing Comprehensive or Commercial General Liability Policy, including contractual liability coverage, with limits not less than \$500,000.00 combined single limit for all claims arising out of a single accident or occurrence.

THE PERMITTEE SHALL DEFEND, HOLD HARMLESS AND INDEMNIFY THE STATE OF WYOMING, DEPARTMENT OF TRANSPORTATION AND ITS OFFICERS, AGENTS, EMPLOYEES AND MEMBERS FROM ALL SUITS OR ACTION WHICH MAY RESULT FROM ANY ACTIVITY BY THE PERMITTEE, ITS OFFICERS, SUBCONTRACTORS, AGENTS OR EMPLOYEES.

Tina Hoebelheinrich
Name (Please Print)
Tina Hoebelheinrich
Signature
09/16/22
Date (Minimum of 60 days prior to event)

836 Sheridan Ave
Address
Cody WY 82414
City, State and Zip
307. 586. 1571
Telephone

Approval must be obtained from the city, town or county government if the closure restricts the use of any road, street or highway of the affected jurisdiction.

Approved by city or town if applicable

Name/Title (Please Print)

Signature/Title

Date

Address

City, State and Zip

Telephone

Approved by county if applicable

Name/Title (Please Print)

Signature/Title

Date

Address

City, State and Zip

Telephone

AGENDA ITEM SUMMARY REPORT
Authorize the Mayor to enter into an agreement between
the City of Cody and Off Grid Inspections, LLC
for electrical inspection and plan review services.

ACTION TO BE TAKEN

Authorize the Mayor to enter into an agreement between the City of Cody and Off Grid Inspections, LLC (Steve Franck) for electrical inspection and plan review services.

SUMMARY

The company that was previously authorized by the City Council to perform electrical inspections on behalf of the City of Cody did not enter into the contract. We have found another company that is willing and qualified to perform electrical inspections for the City and the attached contract has been prepared to acquire those services.

The individual behind the company is Steve Franck, who is the Powell Electrical Superintendent. He would provide his on-site inspection services to the City of Cody once or twice a week, depending on demand, from approximately 4:30 to 6:30 p.m. While those hours are not convenient for many electricians, it is the only option we have found at this point. Additional "remote" inspection services through video and photos, and remote plan review would also be provided to address some of the limitations on the hours.

Within the State of Wyoming, the Department of Fire Prevention & Electrical Safety has authority for enforcement of the electrical code. That authority can be delegated to local jurisdictions that adopt the same electrical code as the State, and provide inspectors that meet certain requirements for licensing and certification. The inspector can either be a City employee or independent contractor.

The City has proceeded under the premise that local enforcement of the electrical code provides a higher level of service to electricians and customers than the State. Therefore, we have worked to maintain that delegated authority for electrical codes.

Current circumstances dictate that utilization of an independent contractor is the most cost-effective option for maintaining delegated authority from the State for electrical codes.

FINANCIAL IMPACT

Financial costs are dependent on the demand for electrical inspections and plan reviews. For a ballpark estimate, based on an average of 1 ½ "days" a week, cost to the City would be \$29,250.00, which amount can be covered by the budgeted amount for personnel this year.

RECOMMENDATION

Authorize the Mayor to enter into an agreement between the City of Cody and Off Grid Inspections, LLC for electrical inspection and plan review services, contingent on City Attorney review of the terms of the agreement.

City of Cody
Independent Contractor Agreement

This agreement is made and entered into on the 5th day of October, 2022, by and between the City of Cody (hereinafter the "Client") and Off Grid Inspections LLC, (hereinafter the "Independent Contractor"). For and in consideration of the mutual covenants contained herein, the Client and the Independent Contractor agree as follows:

- A. Independent Contractor Status.** At all times during the term of this Agreement, the Independent Contractor will be an Independent Contractor and will not be an employee of the Client. Neither the Independent Contractor nor the Independent Contractor's employees or contract personnel are eligible to participate in any employee pension, health insurance, vacation pay, sick pay or other fringe benefit plans of the Client. The Client will have the right to control the Independent Contractor only insofar as to the results of the Independent Contractor's services rendered pursuant to this Agreement. Otherwise, the Client will not have the right to control the means by which the Independent Contractor accomplishes services rendered pursuant to this Agreement. Notwithstanding any other city, state, or federal policy, rule, regulation, law, or ordinance to the contrary, the Independent Contractor and any of its employees, agents, and subcontractors providing services under this Agreement will not qualify for or become entitled to, and hereby agree to waive any and all claims to, any compensation, benefit, or any incident of employment by the Client. The Independent Contractor will have no authority, express or implied, to act on behalf of the Client in any capacity whatsoever as an agent, except as specifically authorized under this agreement. The Independent Contractor will have no authority, express or implied, pursuant to this Agreement to bind the Client to any obligation whatsoever. The Independent Contractor shall in no way represent themselves as an employee or agent of the Client for any purpose including the marketing of their services.
- B. Services Provided.** Subject to the terms and conditions set forth in this Agreement, the Independent Contractor will provide to the Client the services described as follows: Electrical Inspection and Plan Review Services as necessary to comply with the State of Wyoming requirements for local code enforcement authority for the adopted electrical code as set forth in Wyoming Statute 35-9-121, including sections (a)(iv) for general enforcement authority for the electrical code and (b)(iii) for enforcement authority for the electrical code for state owned and leased buildings. The Client shall make available to the Independent Contractor certain facilities owned by the Client located at 1338 Rumsey Avenue, Cody, WY during all business hours, unless other dates and times are offered by the Client.
- C. Term of Services.** The term of this agreement shall be October 5, 2022 through October 4, 2023. This agreement shall be renewable for successive one-year periods. Neither party needs to take any action to renew this agreement for another year. In the event a party wishes to not renew all or part of this agreement, that party shall notify the other party in writing at least sixty (60) days prior to the expiration of the then-current term. The Independent Contractor will devote such time to the performance of services pursuant to this Agreement as may be reasonably necessary to meet the standard of performance provided in Section D below and to complete the Independent Contractor's obligations hereunder.
- D. Standard of Performance.** The Independent Contractor will perform all services required pursuant to this Agreement in the manner and according to the standards of quality reasonably expected of a competent practitioner of the profession in which the Independent Contractor is engaged. The Independent Contractor shall maintain all licenses and certifications necessary to maintain compliance with State of Wyoming requirements for performing the services required pursuant to this agreement.
- E. Compensation.** The Client shall compensate the Independent Contractor for the services described in Section B as follows:
- 1) For on-site inspection and associated coordination with the Client and the electrician(s) that performed the work being inspected: \$375 per day, for up to two hours of inspection/plan review per day. As coordinated with the City, and based on demand, on-site inspection services will generally be provided one or two days per week.
 - 2) For remote inspections (e.g. review of video or photos), and any plan review: \$110 per hour for any time not associated with #1 above.

- F. Invoices.** The Independent Contractor shall submit to the Client signed vouchers and itemized invoices monthly during the term of this Agreement. Invoices/vouchers shall contain the following Information:
- a. Invoice number and date
 - b. Identification of services performed including dates, times and locations
 - c. The beginning and ending dates of the billing period
 - d. The Independent Contractor shall utilize a voucher form provided by the Client and the Independent Contractor must sign the perjury statement for each invoice submitted.
- G. Payment of Invoices.** The Client will make payments, based on invoices or vouchers received, for services satisfactorily performed within 45 days of the receipt of the invoices and vouchers by the Accounts Payable department and in accordance with the Client's Financial Management Policy. Prior to any payments being made by the Client to the Independent Contractor under this Agreement the Independent Contractor shall provide a completed and signed W9 form to the Client. The Independent Contractor agrees to provide updated W9 forms upon the Client's request. If a completed and signed W9 form is not provided the Client may withhold payment until completed and signed W9 form is received and the Independent Contractor may be subject to backup withholding as required by the Internal Revenue Service. If proof of insurance is required under Section H below the Client may withhold payment until such written proof of insurance is received by Client.
- H. Payment of Expenses and Taxes.** The Independent Contractor shall be responsible for all necessary insurance, labor and employees' expenses including all state and federal withholding taxes, social security taxes, worker's compensation and unemployment remittances and the Independent Contractor shall be responsible for all necessary reports relating thereto. The Independent Contractor shall be responsible for all other business-related expenses incurred while performing services under this Agreement.
- I. Insurance.** The Independent Contractor assumes all risk of loss or injury to the Independent Contractor, to any individual enrolled in the service/programming provided by the Independent Contractor or to any other individual that may suffer loss or injury resulting from the Independent Contractor's performance of the service described in this agreement. The City of Cody requires that comprehensive or commercial general liability insurance shall be maintained by the Independent Contractor if the services/programming provided by the Independent Contractor includes activities that involves physical exertion by the participant, physical interaction between the Independent Contractor and the participant, use of the swimming pool or therapy pool, the use of equipment, weapons or utensils or any activity that may cause harm or injury to the participant. Before commencing any work, the Independent Contractor shall provide the Client with proof of coverage in the minimum amount of \$1,000,000 (one million dollars) combined single limit, including coverage for bodily injury, personal injury, broad form property damage, contractual liability, and cross-liability. The Independent Contractor shall indemnify and hold the Client harmless for any such claims, demands suits, judgements, costs or expenses on account of any such loss or injury. This indemnification shall include reasonable attorneys' fees incurred by the Client in any legal or equitable action, suit, demand, negotiation, mediation or arbitration arising out of such loss or injury. Insurance is required for this program.
- J. Governmental Immunity.** The Client does not waive its governmental immunity by entering into this agreement, and does not waive any of the defenses, limitations and immunities provided under the Wyoming Constitution and Wyoming Governmental Claims Act. The Client specifically reserves the right to assert immunity as a defense to any claim arising under this agreement.
- K. Exclusive Agreement.** This is the entire Agreement between the Client and the Independent Contractor. This Agreement may be modified only in writing signed by both parties.
- L. Terminating the Agreement.** The Client or Independent Contractor may terminate this Agreement at any time by giving 30 days written notice to the other party of the intent to terminate.

In WITNESS WHEREOF, the parties have executed this agreement as of the 5th day of October, 2022.

INDEPENDENT CONTRACTOR

Signature	
Printed Name	

CLIENT

City of Cody, Wyoming
Matt Hall, Mayor

Signature	
Title	

MEETING DATE:	OCTOBER 4, 2022
DEPARTMENT:	COMMUNITY DEVELOPMENT
PREPARED BY:	TODD STOWELL
CITY ADM. APPROVAL:	_____
PRESENTED BY:	TODD STOWELL

AGENDA ITEM SUMMARY REPORT

The Final Plat and Construction Plans for the Schoonover Subdivision

ACTIONS TO BE TAKEN

Approve the final plat and construction plans for the Schoonover Subdivision, a 5-lot subdivision, subject to conditions of approval.

SUMMARY

Kira Schoonover has submitted the final plat application and construction plans for her 5-lot subdivision on the west side of Robert Street. The Planning and Zoning Board has reviewed the application and recommends approval subject to a number of conditions.

SUBDIVISION REGULATIONS

The general subdivision ordinance requirements were reviewed with the preliminary plat approval. The following subdivision variances were granted by the City Council at that time:

Subdivision Variances:

1. To waive the alley requirement.
2. To allow a private street of the design discussed (20-foot-wide paved lane with drainage provisions and radii at the connection to Robert Street)—no curb, gutter, sidewalk, or streetlights.
3. To the requirement to provide additional right-of-way for Robert Street.
4. To the block length requirement.
5. To allow Kira Schoonover to get a building permit for her lot (Lot 1) prior to installation of all of the subdivision infrastructure, subject to a condition requiring completion of the utility infrastructure for Lot 1 prior to occupancy of the house. The street along the south side of the subdivision need only be installed before permits are issued for Lots 2 and 3—The developer (Kira) remains responsible to complete the street improvements.



Status of Preliminary Plat Conditions:

The conditions of the preliminary plat approval are listed below, with the status of each. If the condition is outstanding, it is noted when the improvement must be completed, as specified by the subdivision ordinance—some are to be completed before the final plat is signed, some before issuance of building permits, and some before occupancy.

AGENDA ITEM NO. _____

Conditions:

1. *Ensure that there is a turnaround at the west end of the paved lane that meets fire code standards. A formal easement is not necessary.*

Status: Pending. The turnaround will need some minor work, which will need to occur with the construction of the street (street installed before permits are issued for Lots 2 and 3).

2. *Provide a drainage plan for the street, which is to be reviewed and approved as part of the final plat process.*

Status: Partially completed. The plans now show a swale/ditch being added to the north side of the street. Provided the ditch functions as a swale to retain water, rather than as a method to carry water off the property, it will have necessary capacity to retain water runoff from the street. This will need to be accomplished by temporary coffer dams or the permanent driveways. Install the driveways or coffer dams with the street construction and demonstrate that sufficient capacity remains.

3. *The street must include a private street name sign, stop sign, and "No Outlet" sign.*

Status: Not shown on the plans—please add. The sign must be installed prior to occupancy of any building on Lots 1, 2, or 3.

4. *A maintenance agreement or homeowner's association must be established for maintenance of the private street and associated stormwater infiltration facilities. Submit the proposed document(s) with the final plat. Also include an explanatory note referencing such on the final plat. The agreement will need to include language that the agreement cannot be rescinded without the approval of the City.*

Status: An initial draft has been submitted, but it needs some work. For example: add legal descriptions of properties involved, identify that the agreement runs with the land, clearly list maintenance responsibilities (snow removal, weed control, resurfacing, stormwater swale/ditch rehabilitation, sign maintenance), identify who is in charge of determining when maintenance is necessary, how responsibility will be transferred over time, the method of collecting funds (annual assessment?), specifying ability to adjust amount of assessments, whether unpaid assessments will constitute a lien, etc.) The agreement will need to be revised and resubmitted so that it can be reviewed by the city attorney as to form. This condition must be met prior to the mayor signing the final plat.

5. *Plans for the sewer main are to be reviewed and approved by the City and WY DEQ. The City will accept ownership and maintenance of the sewer main once it is constructed to City standards.*

Status: The plans have been submitted for review and are proposed for approval by the City council. WY DEQ approval is also required prior to installation.

6. *Approval of the irrigation distribution plan and plans for piping of the ditch along the full property frontage will need to be obtained from Cody Canal and any private ditch company that may have jurisdiction. Following the flow of the water in a north direction, the piping needs to be shifted to the west before it gets to the new street, and be extended all the way to the north property line.*

AGENDA ITEM NO. _____

Status: The shift requested is shown on the plans. The irrigation distribution plans were reviewed by Cody Canal on September 9th and need some minor edits. Verification of plan approval must be submitted before the mayor signs the final plat and installation must occur prior to issuance of building permits on Lots 2-5, and prior to occupancy on Lot 1.

7. *Determine the water tap size for Lots 4 and 5.*

Status: Met. The domestic water curb stops to these two duplex lots will be 1" in size. What happens after that—whether the water line continues as a 1" line to serve each duplex or is split into two ¾" services with individual curb stops for each unit is up to the developer and need not be determined until time of building permits. Curb stops for individual ¾" services would be at the cost of the developer and is not included in the utility fee calculation.

8. *On the final plat, include a slope easement for the pathway shoulder by adding the following or similar language to the final plat, "Slope easement granted along the east side of Lots 3, 4, and 5 as necessary to accommodate a 4:1 slope for a pedestrian pathway shoulder."*

Status: Shown in Note 3, however there is a label that identifies it as 3' wide. The label language needs to be coordinated with the note.

9. *Prior to recording the final plat, install an 8-foot-wide asphalt pathway along the entire property frontage of Robert Street or pay the estimated cost to do so to the City.*

Status: Pending. The pathway is shown on the subdivision improvement plan (attached). The details of the path are not extensive, but are likely adequate, provided construction is carefully coordinated with Public Works. For example, grading and surfacing between the pathway and Robert Street is not shown. Further coordination can occur through the street encroachment permit process. Timing is as noted in the condition.

10. *Coordinate the garbage collection plan and any improvement of the turnaround with the City before final plat approval.*

Status: Pending. Complete no later than starting construction of the street.

11. *Follow and incorporate the seven "miscellaneous" items listed at the end of the staff report:*

a) *The applicant will need to contact the post office for the mail box location(s). City preference is that the boxes be placed along the interior street. The final location must be authorized by both the Post Office and City.*

Status: Pending. The location must be approved before the mayor signs the plat. Installation of the common mailbox pedestal and concrete pad must occur before issuance of any building permits on lots 2 through 5.

b) *Primary vehicle access for Lot 3 will be limited to the interior street. Include a note on the final plat to notify the lot owner of the restriction.*

Status: The note is included. See Note 4.

c) *The building locations and parking facilities on Lots 4 and 5 must be configured so that vehicles do not back out onto Robert Street, but leave the property in a forward motion. The setback from Robert Street will therefore need to be much more than the zoning minimum. Include a note on the final plat about this requirement. The configuration shown on the preliminary plat is adequate to meet this requirement.*

Status: The note is included (Note 5). The layout will be verified at the time of the building permits.

AGENDA ITEM NO. _____

d) *Include lot and street survey monumentation on the final plat, per the requirements of the subdivision ordinance.*

Status: Shown on plat. Will need to be installed before the mayor signs the plat.

e) *Coordinate the street design with the pathway design.*

Status: Met.

f) *List the variances granted on the final plat.*

Status: Met.

g) *Include all owners in the Certificate of Owner—missing Noreen.*

Status: Met.

12. *The final plat application and construction documents (sewer plan, basic street plan, and a pathway plan if the owner will be constructing it) shall otherwise comply with the City ordinances. Utility fees will be addressed with the final plat.*

Status: Plans have been provided. Outstanding items will be listed as additional conditions of approval.

Other:

Individual utility services:

As the road and sewer plans do not include the plans for individual utility services to each lot, and the "Subdivision Improvement Plan" does not show them either, it is necessary to clarify that the individual utility services are to be installed to each lot line (or further) per the approved preliminary plat unless the plan is later officially modified. The layout on the preliminary plat was developed to minimize street cuts and repair patches, and to provide the required separation between utility lines.

Extent of Improvements:

The subdivision ordinance states the following:

11-2-2(B) Improvements: No building shall be erected on any lot in any subdivision, nor shall a building permit be issued by the city for a building until all improvements reasonably expected and required by the city, such as streets, curb and gutter, sidewalk, sewer service, water service, etc., have been installed, approved and accepted by the city for the lot upon which the building is to be constructed.

Later in the subdivision ordinance it discusses the requirement that each lot be provided with individual services as part of the subdivision development. As noted, completion is required before a building permit can be installed on the lot.

As the subdivision ordinance also requires all underground utilities to be installed under a street before the street is improved, and any mains must be entirely functional in order for the individual services to be activated, improvements for multiple lots are often necessary to satisfy the requirements to obtain a building permit. For example, in this case, the entire sewer main, all utility services for Lots 1, 2 and 3 and the paving of the street will need to be completed before building permits can be issued for Lots 2 and 3. The relocation of the power pole along Robert Street will need to occur before permits are issued for Lots 4 and 5. Relocation and piping of the entire irrigation ditch must occur before Lots 2-5 can be issued permits, along with the service to the individual lot wanting the building permit. The installation of the pathway (or payment for installation thereof) is required prior to recording the final plat as it functions as a system (or main) that is not an individual service, but functions as a whole and serves the complete subdivision.

AGENDA ITEM NO. _____

RECOMMENDATION:

It is recommended that the Planning and Zoning Board recommend to City Council the approval of the final plat and construction plans, subject to the following conditions:

1. All outstanding preliminary plat conditions shall be met, as outlined in the staff report, no later than at the time noted in each. This includes conditions 1, 2, 3, 4, 5, 6, 8, 10, 11a-11c, and 12.
2. Prior to installation of the shallow utilities (telecommunications, gas, and irrigation), obtain written approval of the utility plans from each of the 3rd party utility providers.
3. Improvements shall be installed pursuant to the preliminary plat, improvement plan, and plans for roadway and sanitary sewer. The construction must be performed and inspections conducted as required so that upon completion of the sewer main and pathway improvements there can be provided the engineer's certification, the developer's one-year warranty, and other information as necessary to comply with Section 11-5-1(A) of the subdivision ordinance.
4. Upon completion, provide a summary to the City finance officer of the value of each public improvement that is being turned over to the City for operation and maintenance (sewer extension, electrical system, and pathway), for contributed capital purposes.
5. Except as specifically modified for Lot 1 by the variance granted by City Council with the preliminary plat (copy attached—allows issuance of building permit for Lot 1, subject to conditions), the following requirement of the subdivision ordinance is applicable, as interpreted and outlined in this staff report.
11-2-2(B) Improvements: No building shall be erected on any lot in any subdivision, nor shall a building permit be issued by the city for a building until all improvements reasonably expected and required by the city, such as streets, curb and gutter, sidewalk, sewer service, water service, etc., have been installed, approved and accepted by the city for the lot upon which the building is to be constructed.
The developer shall disclose this requirement and all outstanding improvements to any lot purchaser.
6. All work within the Robert Street right-of-way will need to be covered by a street encroachment permit from Public Works. The contractor(s) doing the work is responsible to obtain the permits before the work is commenced.
7. Obtain approval from the post office and community development for a community mail box location. The concrete pad and community mail box must be installed by the developer prior to occupancy of any dwelling in the subdivision.
8. Prior to the mayor signing the final plat, applicable utility fees must be paid, which include both electrical estimates (distribution system and relocation of pole), and the water tap fees (two 1" and two ¾" taps—Lot 3 tap is existing).

ATTACHMENTS:

Final Plat
Roadway and Sanitary Sewer Construction Plans
Subdivision Improvement Plan
Approved preliminary plat
Water Distribution Plan

H:\PLANNING DEPARTMENT\FILE REVIEWS\MAJOR-MINOR SUBDIVISION\2021\SUB2021-07 SCHOONOVER\STAFF REPORTS\AGENDA SUMMARY FINAL PLAT.DOCX

AGENDA ITEM NO. _____

ADDITIONAL PROPOSED VARIANCE FOR THE SCHOONOVER SUBDIVISION:

Requirement:

11-2-2 B. Improvements: No building shall be erected on any lot in any subdivision, nor shall a building permit be issued by the city for a building until all improvements reasonably expected and required by the city, such as streets, curb and gutter, sidewalk, sewer service, water service, etc., have been installed, approved and accepted by the city for the lot upon which the building is to be constructed.

Background:

The property owner wants to have their house installed on the property before all of the subdivision improvements to serve the lot can be completed. The utilities, which are one component of the required subdivision improvements, will be installed to serve the house, and will need to be completed prior to occupancy of the house. The property owner simply wants to install the utilities and house at the same time. The house is a modular home that will be ready to install towards the end of September. As there is no lot sale involved in the situation, it has historically been acceptable to allow such a variance, subject to completing all subdivision improvements prior to occupancy of the house.

The applicant is also needing to address the timing of the subdivision requirement to pave the street along the south end of the subdivision. At this point it is unlikely that the owner can get the subdivision construction plans completed, the plans approved, the utilities installed, and the street paved before the asphalt plant closes for the year (typically middle of October), so the typical variance to allow a building permit but no occupancy until all subdivision improvements are completed would not be sufficient to allow occupancy of the house until next April—after the asphalt plant reopens.

Another factor that is noted, but has not previously been presented as justification for a variance to the timing of installation of subdivision improvements is that the requirement to pave the street is triggered by the subdivision and were it not for the fact that the applicant is doing the subdivision at the same time as the construction of her house, occupancy of the house would be able to occur without paving the street. If the house had been placed before the subdivision, it would not be caught in this timing issue of no occupancy before paving of the street.

The combination of the above factors would seem to be sufficient justification to allow a delay of the paving of the street until one of the other two lots along the street is proposed to be developed with a dwelling.

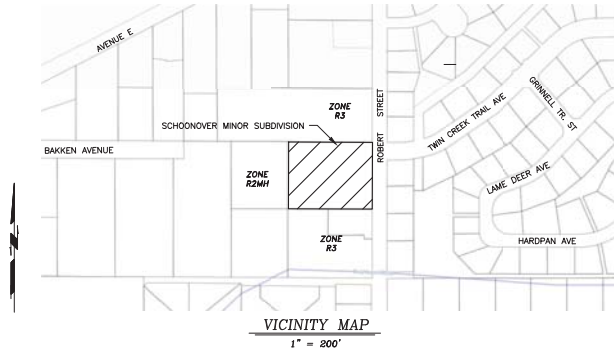
Variance:

To allow issuance of a building permit on Lot 1 for Kira Schoonover (property owner) prior to installation of all of the subdivision infrastructure, subject to the following conditions:

- A) The utility infrastructure for Lot 1 must be completed prior to occupancy of the house on Lot 1; provided, if the components for the electrical system cannot be obtained by the time the other infrastructure is completed, then the house can be served with a temporary electrical service and occupied under a temporary occupancy permit until the electrical components are available, installed and a full occupancy permit issued. If the temporary service is installed, it must be disconnected and the permanent electrical service connected within 60 days of the materials being available.

- B) The street required along the south side of the subdivision is to be installed prior to issuance of any building permit on Lots 2 and 3. The developer (Kira Schoonover) remains responsible to complete the street improvements.

RESURVEY T.53N., R.101W.
CITY OF CODY



NOTES

1. BEARINGS ARE BASED ON THE CITY OF CODY COORDINATE SYSTEM, WHICH IS BASED ON THE WYOMING COORDINATE SYSTEM HADEN WEST CENTRAL ZONE.
2. OUTSTANDING SUBDIVISION IMPROVEMENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF ANY BUILDING PERMITS FOR CONSTRUCTION ON THE LOTS, AS OUTLINED IN THE FINAL PLAT APPROVAL. CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT CITY HALL FOR INFORMATION.
3. SLOPE EASEMENT GRANTED ALONG THE EAST SIDE OF LOTS 3, 4, AND 5 AS NECESSARY TO ACCOMMODATE A 4:1 SLOPE FOR A PEDESTRIAN PATHWAY SHOULDER.
4. PRIMARY VEHICLE ACCESS FOR LOT 3 WILL BE LIMITED TO THE INTERIOR STREET "FAITH COURT".
5. LOTS 4 & 5 BUILDING LOCATIONS AND PARKING FACILITIES MUST BE CONFIGURED FOR LARGER SETBACKS THAN ARE REQUIRED WITHIN THIS ZONING AREA. VEHICLES ARE NOT ALLOWED TO BACK ONTO ROBERT STREET. PARKING MUST BE DESIGNED FOR VEHICLES TO LEAVE THE PROPERTY IN A FORWARD MOTION.

APPROVED VARIANCES

1. TO WAIVE THE ALLEY REQUIREMENT.
2. TO ALLOW A PRIVATE STREET OF THE DESIGN DISCUSSED (20-FOOT-WIDE PAVED LANE WITH DRAINAGE PROVISIONS AND RADI AT THE CONNECTION TO ROBERT STREET) - NO CURB, GUTTER, SIDEWALK, OR STREETLIGHTS.
3. TO THE REQUIREMENT TO PROVIDE ADDITIONAL RIGHT-OF-WAY FOR ROBERT STREET.
4. TO THE BLOCK LENGTH REQUIREMENT.

CERTIFICATE OF OWNER

STATE OF WYOMING } SS.
COUNTY OF PARK }
KNOW ALL MEN BY THESE PRESENTS THAT I/WE, THE UNDERSIGNED, HEREBY CERTIFY THAT I/WE ARE OWNERS AND PROPRIETORS OF LOT 14-A, BAKKEN SUBDIVISION #2, CODY, WYOMING, AS LOCATED IN BOOK "D" OF PLATS, PAGE 148, ACCORDING TO THE RECORDS OF THE COUNTY CLERK AND RECORDER OF PARK COUNTY, STATE OF WYOMING, AS EVIDENCED BY THAT WARRANTY DEED RECORDED AS DOCUMENT #2021-3482 IN SAID CLERK AND RECORDER'S OFFICE.

THAT WE HAVE CAUSED SAID PROPERTY TO BE SURVEYED AND PLATTED AS SHOWN HEREON AS THE SCHOONOVER SUBDIVISION LOCATED WITHIN THE CITY OF CODY. THAT THE SUBDIVISION AS APPEARS ON THIS PLAT IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETORS, THAT WE HEREBY DEDICATE EASEMENTS LABELED HEREON TO THE USES SO NOTED; THAT SAID LANDS ARE SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY AND MINERAL RIGHTS OR RESERVATIONS ON RECORD.

BY: KIRA SCHOONOVER
BY: NOREEN SCHOONOVER

STATE OF WYOMING } SS.
COUNTY OF PARK }

THE FOREGOING CERTIFICATE OF OWNER WAS ACKNOWLEDGED BEFORE ME BY KIRA SCHOONOVER & NOREEN SCHOONOVER, THIS ____ DAY OF _____, 2022, WITNESS MY HAND AND OFFICIAL SEAL.
MY COMMISSION EXPIRES: _____

NOTARY PUBLIC

CERTIFICATE OF SURVEYOR

I, LYLE J. CASASOTTO, OF ENGINEERING ASSOCIATES, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED USING DOCUMENTS ON FILE IN THE OFFICE OF THE PARK COUNTY CLERK, AND FROM NOTES TAKEN DURING ACTUAL SURVEYS PERFORMED UNDER MY DIRECTION IN AUGUST, 2021 TO AUGUST, 2022, AND, THAT TO MY KNOWLEDGE, THIS MAP SHOWS THE SITUATION ON THE GROUND AT THE TIME OF ITS PREPARATION.



CITY PLANNING AND ZONING BOARD

APPROVED AS OF _____ DAY OF _____, 2022 BY THE CITY PLANNING AND ZONING BOARD OF CODY, WYOMING.

CHAIRMAN

CITY COUNCIL APPROVAL

APPROVED AS OF _____ DAY OF _____, 2022 BY THE CITY COUNCIL OF CODY, WYOMING.

MAYOR - BART HALL

ATTEST: CANDY BRADY
ADMINISTRATIVE SERVICES OFFICER

CLERK AND RECORDER ACCEPTANCE

THIS PLAT WAS ACCEPTED IN THE OFFICE OF THE CLERK AND RECORDER, PARK COUNTY, WYOMING, AT _____ O'CLOCK _____ A.M. ON THIS _____ DAY OF _____, 2022, FILED FOR RECORDING IN BOOK OR PLAT CARNET _____ AT PAGE _____ AND RECORDED AS COMPUTER RECORD DOCUMENT NUMBER _____

PARK COUNTY CLERK

BY: _____ DEPUTY.

**- PLAT SHOWING -
SCHOONOVER SUBDIVISION**

LOCATED WITHIN

LOT 14-A OF BAKKEN SUBDIVISION NO. 2,
RESURVEY T.53N., R.101W., 6TH P.M.,
CITY OF CODY, PARK COUNTY, WYOMING

PREPARED FOR: KIRA SCHOONOVER

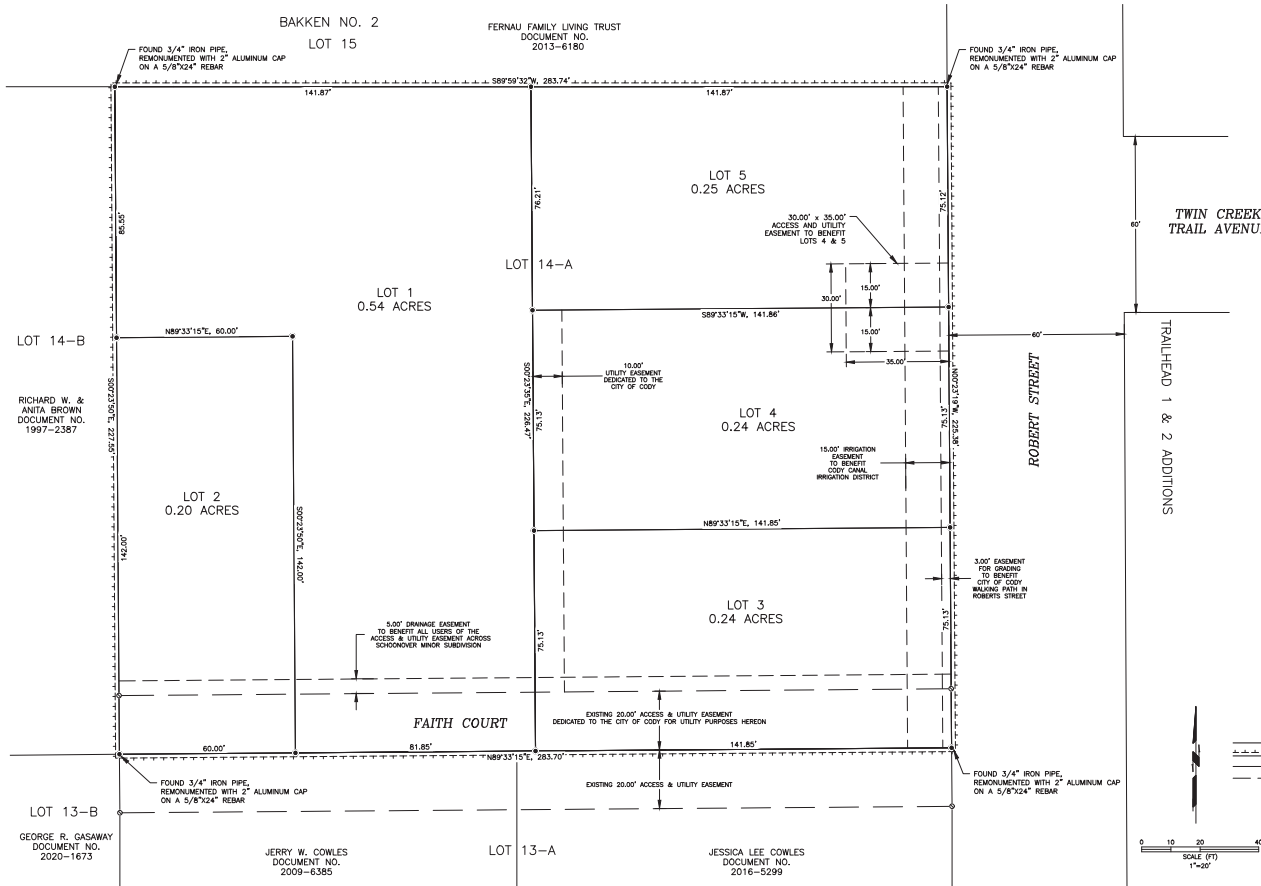
PREPARED BY: ENGINEERING ASSOCIATES
CONSULTING ENGINEERS & SURVEYORS
902 13TH STREET
CODY, WYOMING 82414



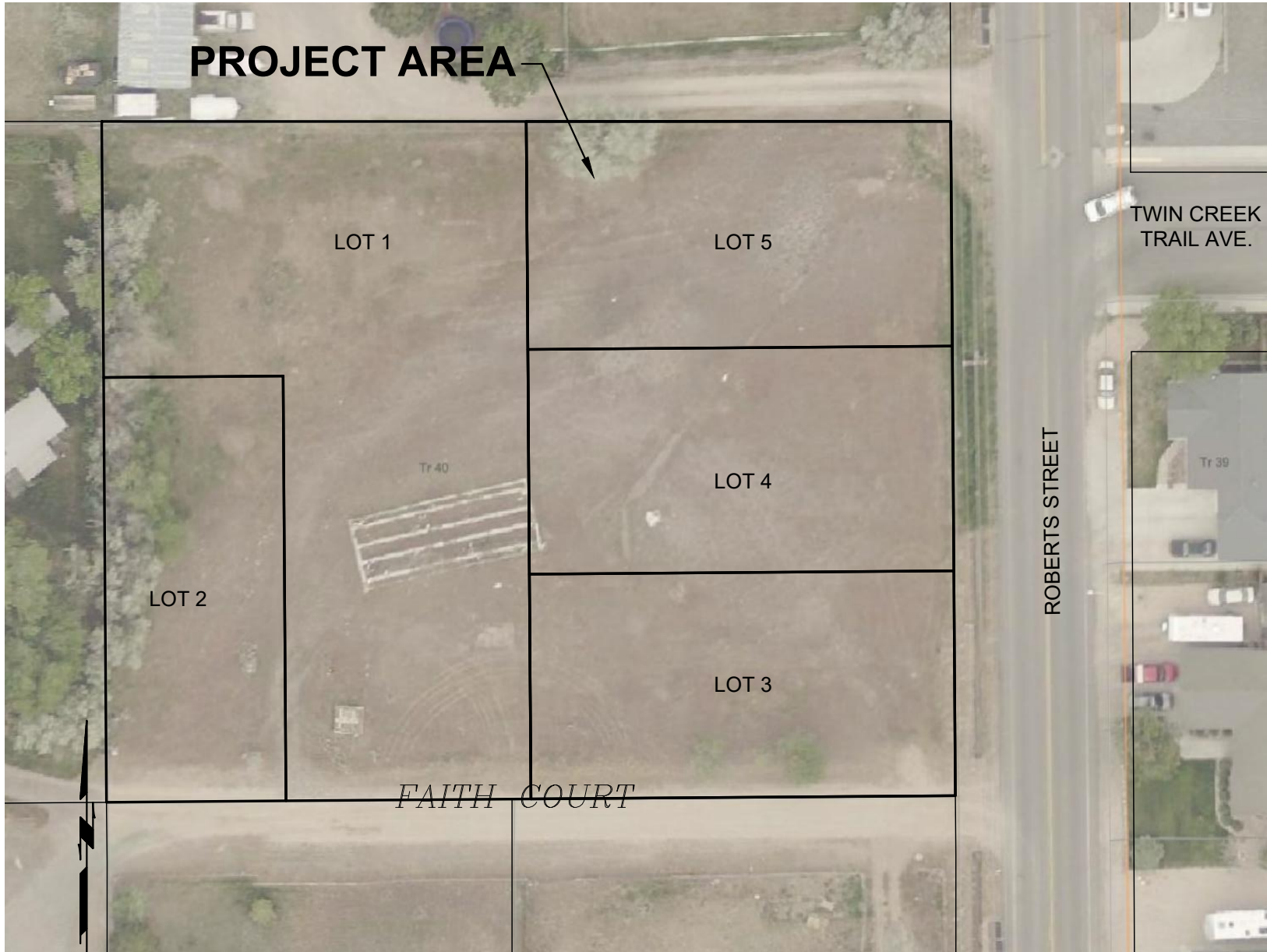
JOB NO. 21100.14
09/09/2022

LEGEND

- FOUND 2" DIA. ALUMINUM CAP, OTHERWISE NOTED
- FOUND 3/4" IRON PIPE
- SET 2" ALUMINUM CAP ON 5/8"x24" REBAR
- PROPOSED SUBDIVISION LOT LINES.
- SUBDIVISION BOUNDARY
- - - EXISTING EASEMENT
- - - EASEMENTS CREATED THIS PLAT



P:\2021\Cody 21000.00 - 21199.00\21100.00 - Misc Surveys 2 - North\21100.14 Schoonover MS - Cody\ACAD\21100.14 Schoonover MS_Round 5.dwg 8/31/22 Nick



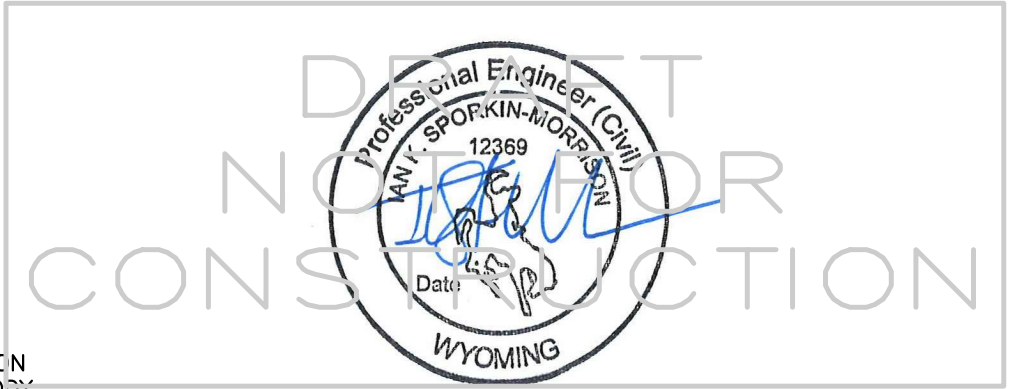
VICINITY MAP
SCALE: 1" = 50'

SCHOONOVER MINOR SUBDIVISION ROADWAY & SANITARY SEWER EXTENSIONS FOR KIRA SCHOONOVER CODY,WY

DRAWING INDEX

Sheet Number	Sheet Title
1	TITLE SHEET
2	PLAN & PROFILE – SANITARY SEWER
3	PLAN & PROFILE – ROADWAY
7	DETAILS – SANITARY SEWER

NOTE: ALL WORK TO BE COMPLETED IN ACCORDANCE WITH LATEST EDITION
OF WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS AND CITY OF CODY
STANDARDS.



DATE	DRAWING LOG	BY	CHECKED	APPROVED
8/3/22	ORIGINAL DRAWING	IKSM		

DRAWN BY: IKSM
JOB NO. 21100.14
FIELD BOOK NO. N/A



ENGINEERING ASSOCIATES – CODY, WYOMING
CONSULTING ENGINEERS & SURVEYORS

OWNER:

KIRA SCHOONOVER

PROJECT:

SCHOONOVER MINOR SUBDIVISION

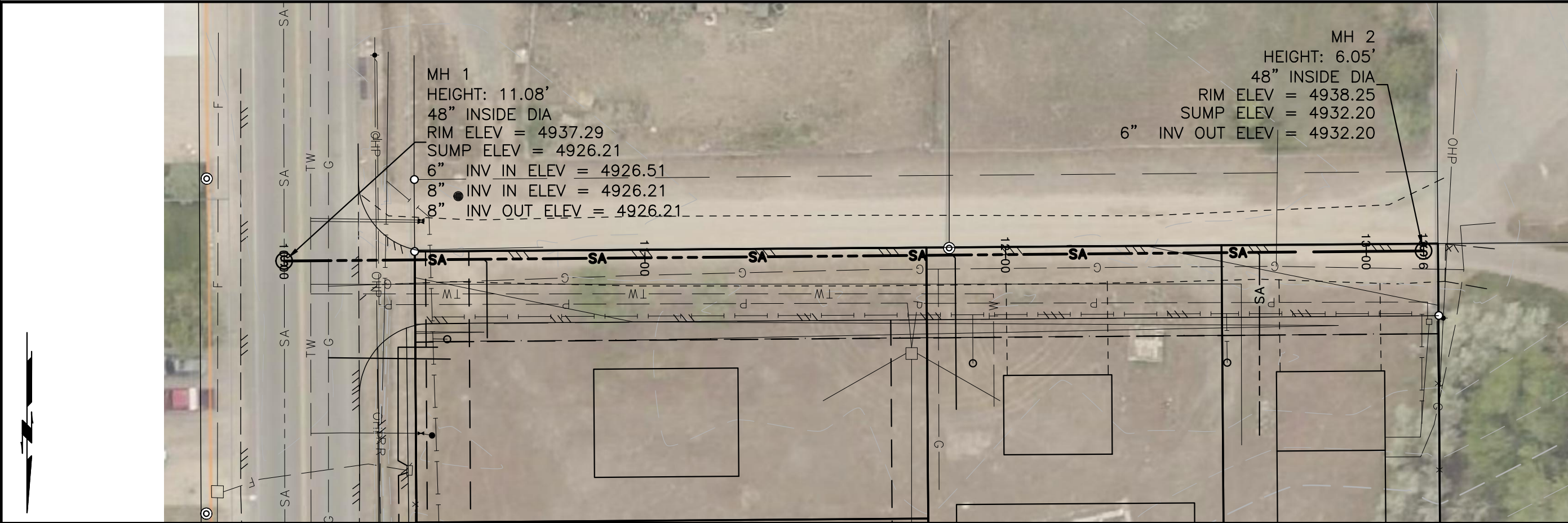
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TITLE SHEET

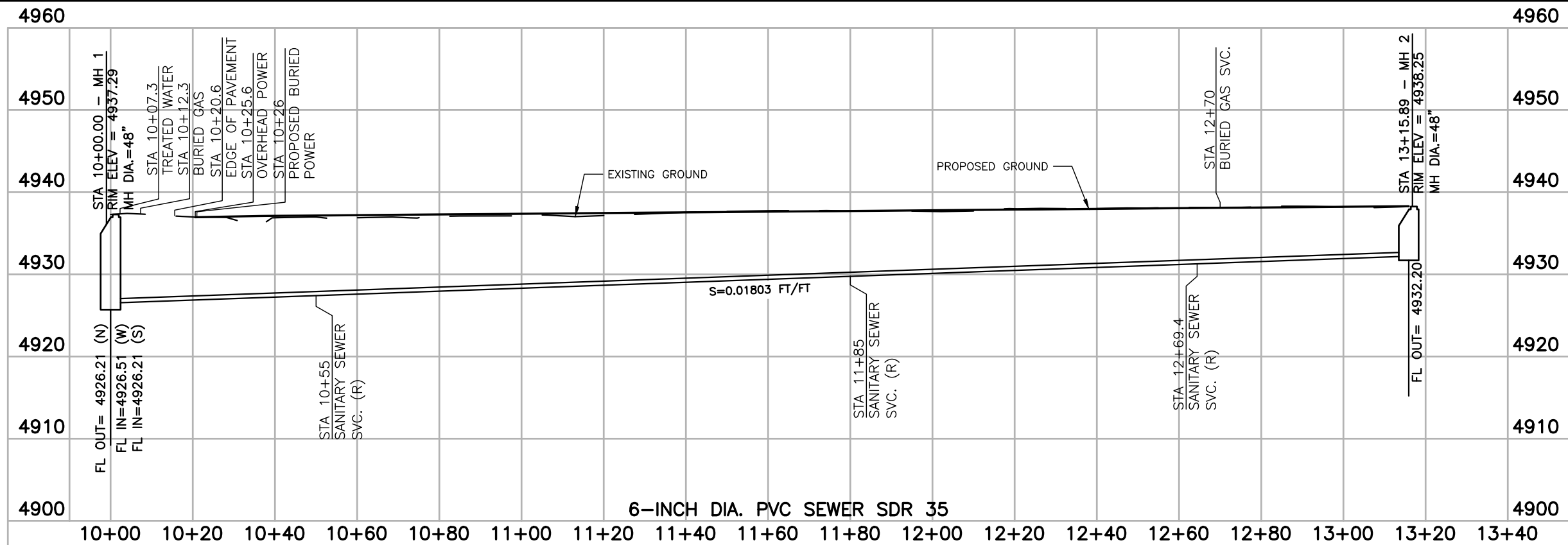
SHEET

1 OF 4

P:\2021\Cody 21000.00 - 21199.00\21100.00 - Misc Surveys 2 - North\21100.14 Schoonover MS - Cody\ACAD\21100.14 Schoonover MS_Round 5.dwg 8/31/22 Nick



SCALES:
1" = 30' HOR
1" = 10' VERT



DATE	DRAWING LOG	BY	CHECKED	APPROVED
8/3/22	ORIGINAL DRAWING	IKSM		

DRAWN BY: IKSM
JOB NO. 21100.14
FIELD BOOK NO. N/A



ENGINEERING ASSOCIATES - CODY, WYOMING
CONSULTING ENGINEERS & SURVEYORS

OWNER:

KIRA SCHOONOVER

PROJECT:

SCHOONOVER MINOR SUBDIVISION

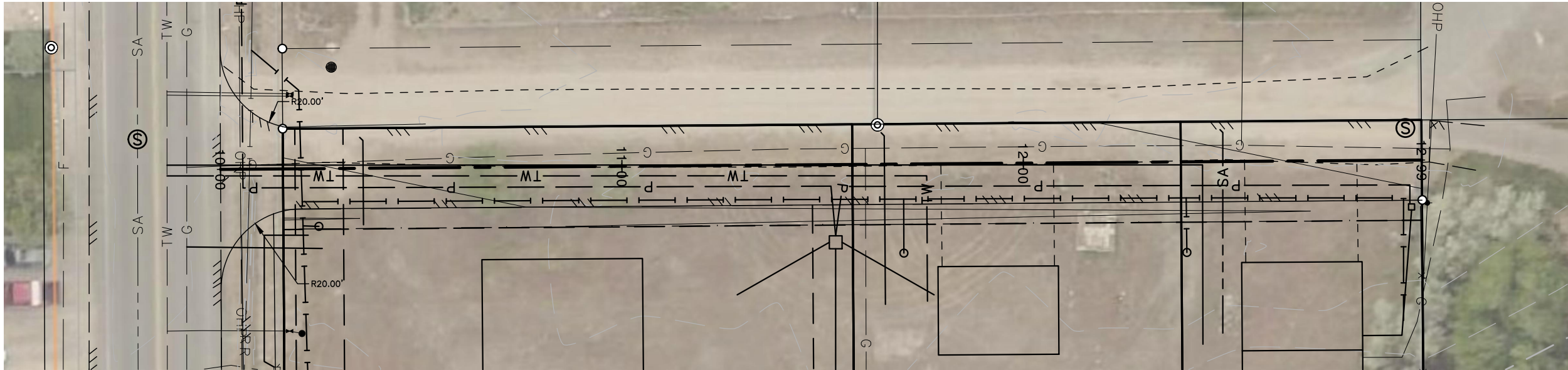
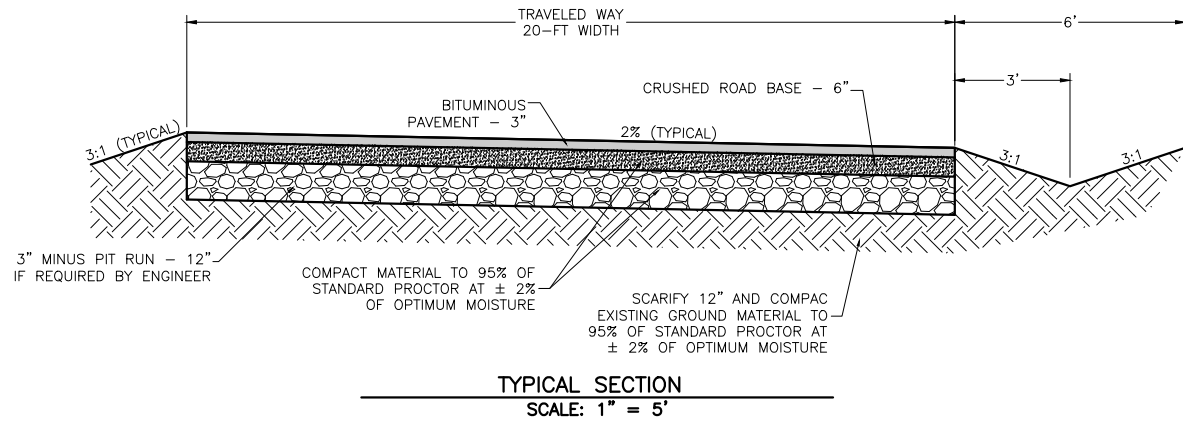
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PLAN & PROFILE - SANITARY SEWER

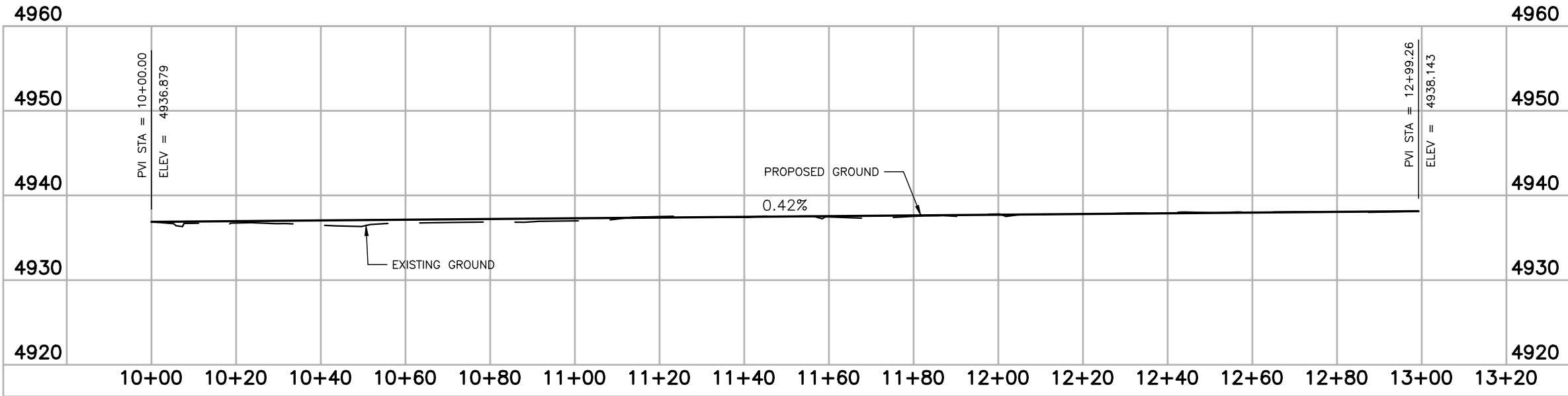
SHEET

2 OF 4

P:\2021\Cody 21000.00 - 21199.00\21100.00 - Misc Surveys 2 - North\21100.14 Schoonover MS - Cody\ACAD\21100.14 Schoonover MS_Round 5.dwg 8/31/22 Nick



SCALES:
1" = 30' HOR
1" = 10' VERT



DATE	DRAWING LOG	BY	CHECKED	APPROVED
8/3/22	ORIGINAL DRAWING	IKSM		

DRAWN BY: IKSM
JOB NO. 21100.14
FIELD BOOK NO. N/A



ENGINEERING ASSOCIATES — CODY, WYOMING
CONSULTING ENGINEERS & SURVEYORS

OWNER:

KIRA SCHOONOVER

PROJECT:

SCHOONOVER MINOR SUBDIVISION

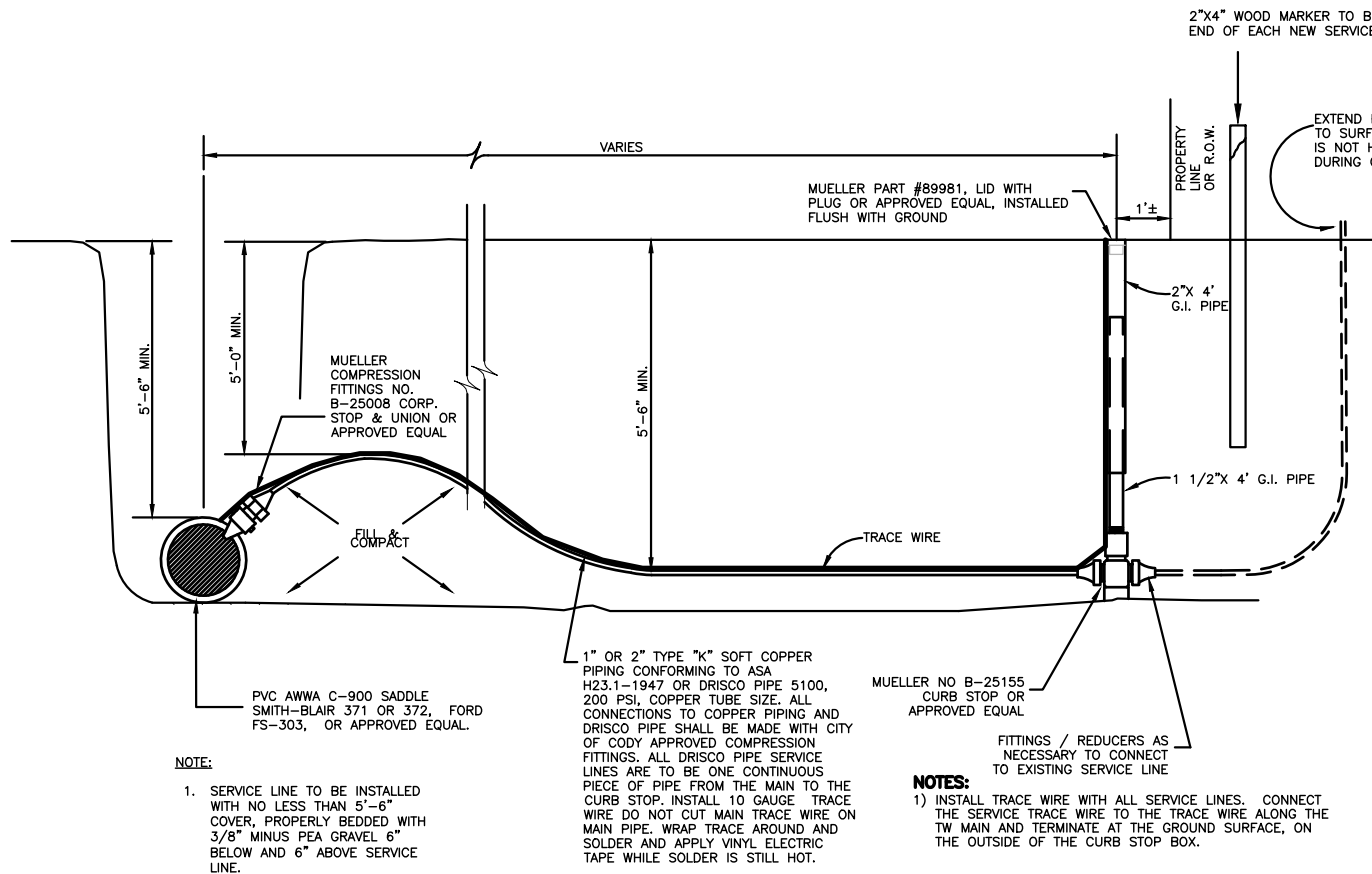
TITLE:

PLAN & PROFILE — ACCESS ROAD "FAITH COURT"

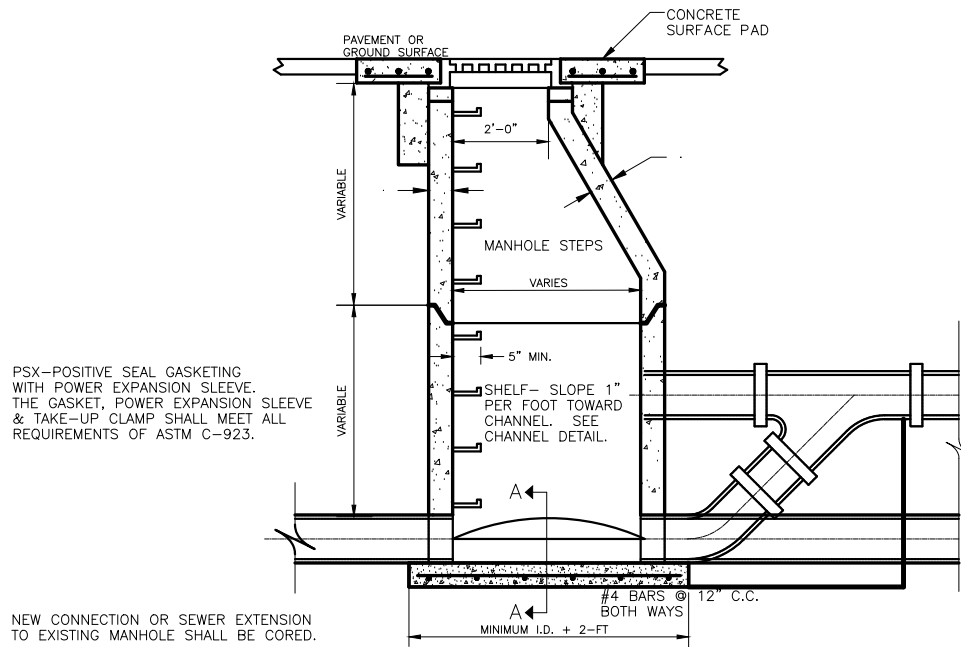
SHEET

3 OF 4

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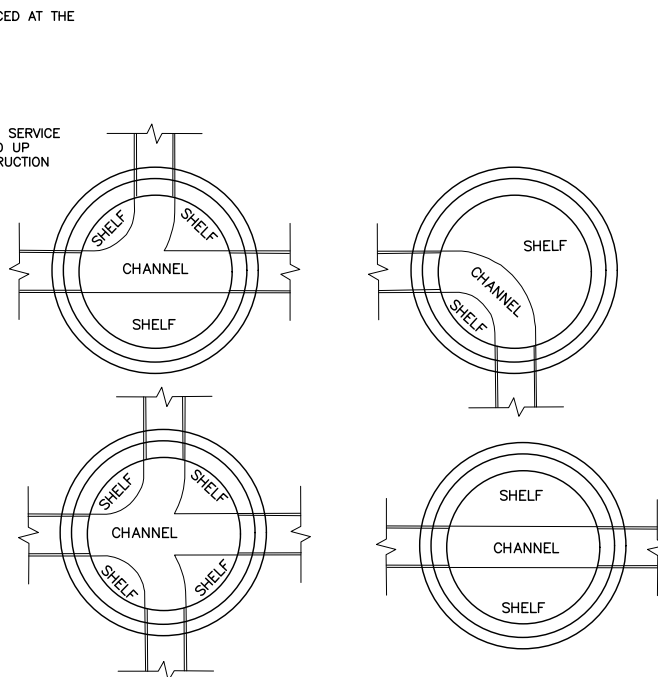


TREATED WATER SERVICE DETAIL

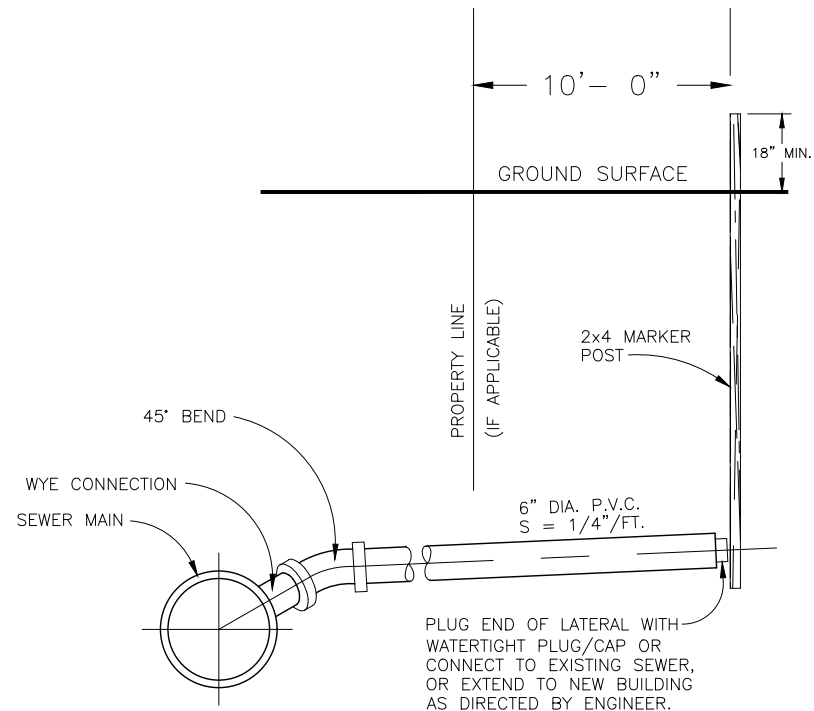


SANITARY SEWER MANHOLE

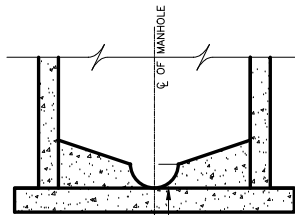
NOTE: ALL MANHOLES SHALL RECEIVE INTERIOR COATING PER SECTION 09830.



MANHOLE CHANNELS



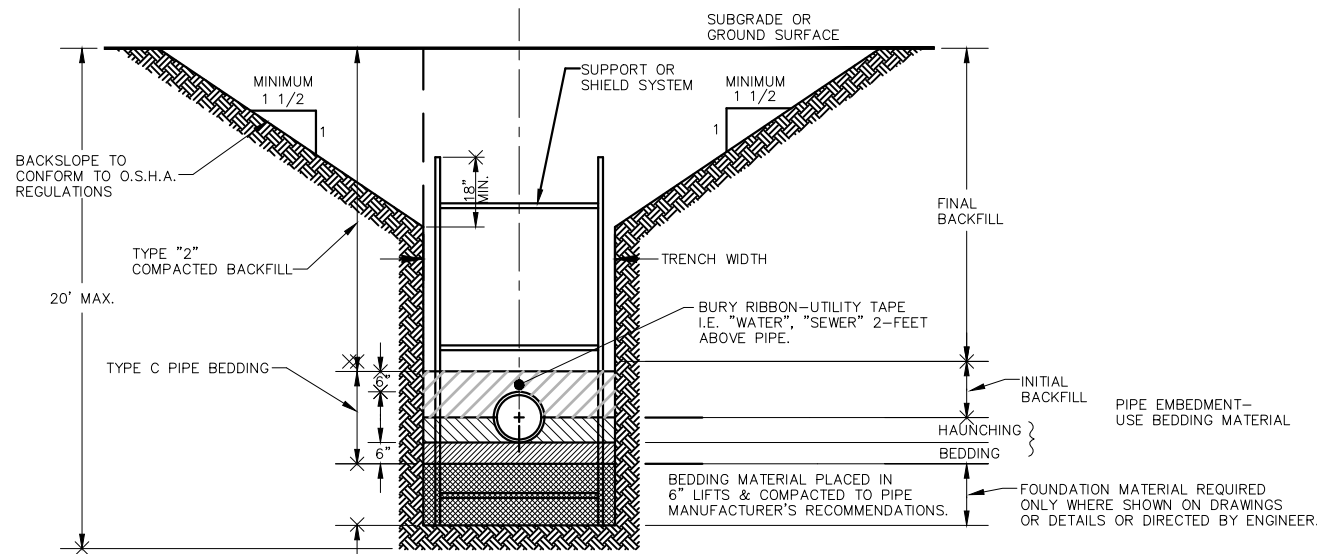
SEWER LATERAL DETAIL



SECTION A-A

NOTE:

- ALL JOINTS BETWEEN MANHOLE SECTIONS, MANHOLE RING & TOP SECTIONS, & AROUND SEWER PIPE INTO MANHOLE SHALL BE WATERTIGHT. JOINTING MATERIAL SHALL BE "RAM-NEK" OR APPROVED EQUAL.
- ALL STEPS SHALL HAVE A MINIMUM OF 12" TO A MAXIMUM OF 16" SPACING, AND SHALL EXTEND OUT A MINIMUM OF 5" FROM THE MANHOLE WALL. STEPS SHALL BE A MINIMUM OF 10" WIDE. THESE REQUIREMENTS ARE IN COMPLIANCE WITH OSHA DIRECTIVE 29 CFR 1910.27.
- STEPS SHALL BE CAST IRON OR STEEL REINFORCED POLYURETHANE STEPS.
- A MINIMUM OF 2" AND A MAXIMUM OF 12" OF ADJUSTING RINGS SHALL BE USED TO MATCH GRADE.



TYPICAL TRENCH DETAIL - SEWER

- NOTES:
- IF SUPPORT OR SHIELD SYSTEM IS NOT USED, MINIMUM ALLOWABLE SLOPE FOR ALL TRENCHES LESS THAN 20 FT. DEEP WILL BE 1 1/2H : 1V. COMPLY W/ALL APPLICABLE SAFETY REQUIREMENTS
 - PROVIDE 6" MINIMUM SPACING BETWEEN OUTSIDE OF PIPELINES AND BETWEEN PIPELINES AND TRENCH WALLS.
 - NO STONES GREATER THAN 3" IN DIAMETER SHALL BE WITHIN 2' OF THE PIPE.

DATE	DRAWING LOG	BY	CHECKED	APPROVED
8/3/22	ORIGINAL DRAWING	IKSM		

DRAWN BY: IKSM
JOB NO. 21100.14
FIELD BOOK NO. N/A



ENGINEERING ASSOCIATES - CODY, WYOMING
CONSULTING ENGINEERS & SURVEYORS

OWNER:

KIRA SCHOONOVER

PROJECT:

SCHOONOVER MINOR SUBDIVISION

TITLE:

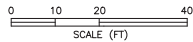
DETAILS

SHEET

4 OF 4

NOTES

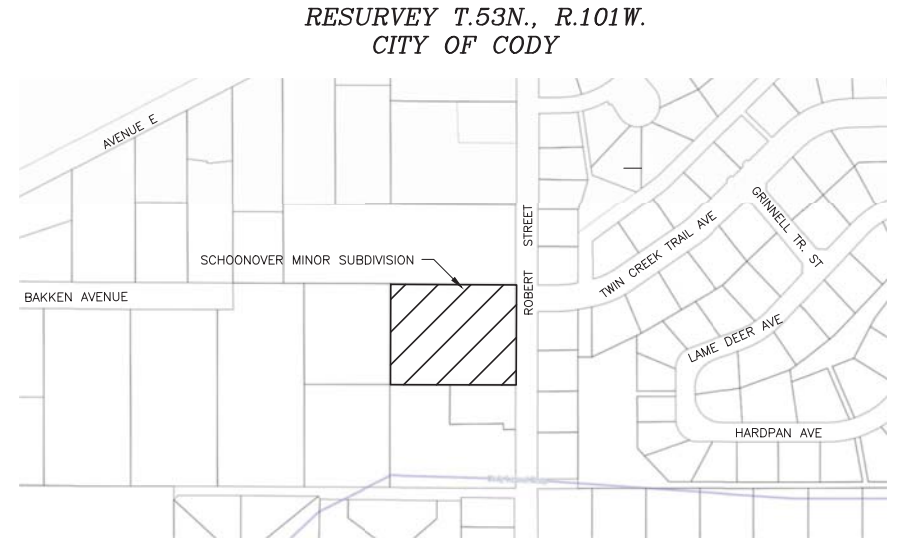
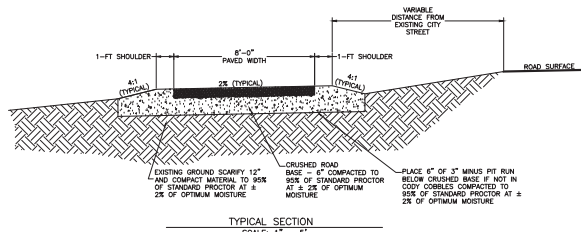
1. BEARINGS ARE BASED ON THE CITY OF CODY COORDINATE SYSTEM, WHICH IS BASED ON THE WYOMING COORDINATE SYSTEM NAD83 WEST CENTRAL ZONE.
2. THE CONTOURS OF THE PROPOSED MINOR SUBDIVISION ARE RELATIVELY LEVEL.
3. THERE ARE NO AREAS SUBJECT TO FLOODING OR WETLANDS
4. TOTAL SUBDIVISION ACREAGE = 1.48 ACRES
5. SUBJECT PARCEL IS MEDIUM-HIGH DENSITY RESIDENTIAL (R3)
6. SEWER SERVICES DO NOT CURRENTLY EXIST ON ANY LOTS AT THE TIME OF THIS PLAT, AND MUST BE INSTALLED PRIOR TO APPROVAL OF A BUILDING PERMIT. DEPENDING ON THE LOCATION AND ELEVATION OF A DWELLING ON LOT 1 AND 2, A SEWER LIFT OR PUMP SYSTEM WILL BE NEEDED.
7. WATER SERVICES DO NOT CURRENTLY EXIST ON LOTS 1, 2, 4, OR 5 AT THE TIME OF THIS PLAT, AND MUST BE INSTALLED PRIOR TO APPROVAL OF A BUILDING PERMIT.



FERNAU FAMILY LIVING TRUST
DOCUMENT NO.
2013-6180

BAKKEN NO. 2
LOT 15 **R3**

TYPICAL CROSS SECTION WALKING PATH



VICINITY MAP
1" = 150'

LEGEND

- ⊙ FOUND 3.5" DIA. BRASS CAP
- FOUND 2" DIA. ALUMINUM CAP, OTHERWISE NOTED
- FOUND 3/4" IRON PIPE
- PROPOSED SUBDIVISION LOT LINES.
- SUBDIVISION BOUNDARY
- OHP --- EXISTING OVERHEAD POWER LINE.
- F --- EXISTING BURIED TELEPHONE / FIBER LINE.
- G --- EXISTING BURIED NATURAL GAS LINE.
- TW --- EXISTING BURIED TREATED WATER LINE.
- SA --- EXISTING BURIED SANITARY SEWER LINE.
- F --- PROPOSED BURIED TELEPHONE / FIBER LINE.
- G --- PROPOSED BURIED NATURAL GAS LINE.
- TW --- PROPOSED BURIED TREATED WATER LINE.
- SA --- PROPOSED BURIED SANITARY SEWER LINE.
- MANHOLE LID. UTILITY AND STRUCTURE TYPES VARY.
- × UTILITY PIPE LINE VALVES.
- UTILITY POLE.

IMPROVEMENT PLAN
SCHOONOVER MINOR SUBDIVISION

LOCATED WITHIN

LOT 14-A OF BAKKEN SUBDIVISION NO. 2,
RESURVEY T.53N., R.101W., 6TH P.M.,
CITY OF CODY, PARK COUNTY, WYOMING

PREPARED FOR: KIRA SCHOONOVER

PREPARED BY: ENGINEERING ASSOCIATES
CONSULTING ENGINEERS & SURVEYORS
902 13TH STREET
CODY, WYOMING 82414



JOB NO. 21100.14
09/06/2022

NOTES

1. BEARINGS ARE BASED ON THE CITY OF CODY COORDINATE SYSTEM, WHICH IS BASED ON THE WYOMING COORDINATE SYSTEM NAD83 WEST CENTRAL ZONE.
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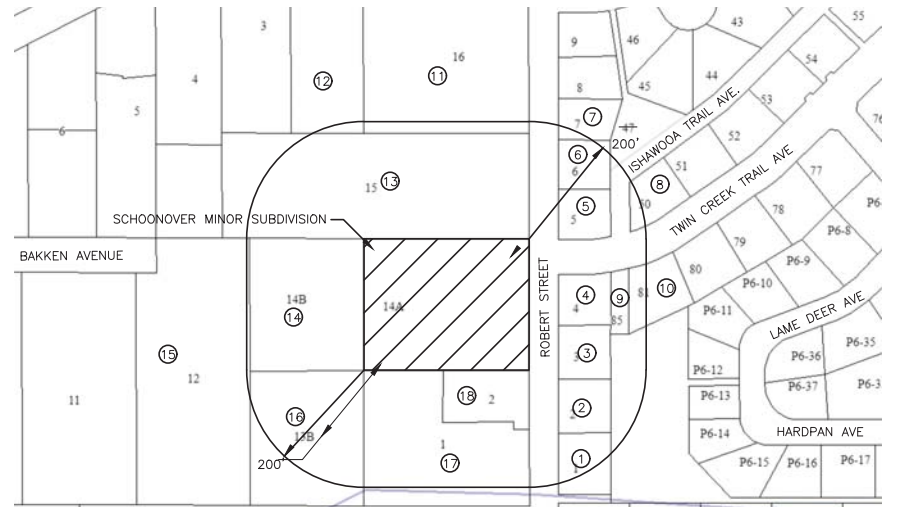
LEGEND

⊙	FOUND 3.5" DIA. BRASS CAP
○	FOUND 2" DIA. ALUMINUM CAP, OTHERWISE NOTED
●	FOUND 3/4" IRON PIPE
----	PROPOSED SUBDIVISION LOT LINES.
----	SUBDIVISION BOUNDARY
----	OHP
----	EXISTING OVERHEAD POWER LINE.
----	F
----	EXISTING BURIED TELEPHONE / FIBER LINE.
----	G
----	EXISTING BURIED NATURAL GAS LINE.
----	TW
----	EXISTING BURIED TREATED WATER LINE.
----	SA
----	EXISTING BURIED SANITARY SEWER LINE.
----	F
----	PROPOSED BURIED TELEPHONE / FIBER LINE.
----	G
----	PROPOSED BURIED NATURAL GAS LINE.
----	TW
----	PROPOSED BURIED TREATED WATER LINE.
----	SA
----	PROPOSED BURIED SANITARY SEWER LINE.
⊙	MANHOLE LID. UTILITY AND STRUCTURE TYPES VARY.
△	UTILITY PIPE LINE VALVES.
●	UTILITY POLE.

LANDOWNER KEY

- 1 HIGBIE FAMILY REVOCABLE LIVING TRUST 213 N 44TH ST, CODY, WY 82414
- 2 RADTKE, CELESTE & CHARLES, 402 LICHEN DRIVE, CODY, WY 82414
- 3 RANDOLPH, KRISTINA D. & STEVEN E., PO BOX 2046, CODY, WY 82414
- 4 GULLICKSON, CRYSTAL N., 232 ROBERT ST., CODY, WY 82414
- 5 WILKERSON, SHAWN, 230 ROBERT STREET, CODY, WY 82414
- 6 ROBERSON, JIMMY M., 228 ROBERT STREET, CODY, WY 82414
- 7 CASTELLANOS, RONALD, 226 ROBERT STREET, CODY, WY 82414
- 8 AVERY & AKOYA SMIEJA, 3007 TWIN CREEK TRAIL AVE., CODY, WY 82414
- 9 TRAILHEAD SUBDIVISION HOMEOWNERS ASSOC., 213 N. 44TH STREET, CODY, WY 82414
- 10 ISMAEL & SAMANTHA GARCIA, 3008 TWIN CREEK TRAIL AVE., CODY, WY 82414
- 11 PEDERSON, MIKEL & RETHA E., PO BOX 3163, CODY, WY 82414
- 12 MCGUFFEY, DONALD & OPAL, P.O. BOX 561, CODY, WY 82414
- 13 FERNAU FAMILY LIVING TRUST, 231 ROBERT STREET, CODY, WY 82414
- 14 BROWN, RICHARD W. & ANITA, 235 ROBERT STREET, CODY, WY 82414
- 15 BENSON, SHIRLEY SHUMWAY TRUST, 2824 BAKKEN AVENUE, CODY, WY 82414
- 16 GASAWAY, GEORGE RICHARD ET AL, PO BOX 2863, CODY, WY 82414
- 17 COWLES, JERRY, 241 B ROBERT ST, CODY, WY 82414
- 18 COWLES, JESSICA LEE, 2831 HIGHWAY 120, CODY, WY 82414

RESURVEY T.53N., R.101W.
CITY OF CODY



VICINITY MAP
1" = 150'

CERTIFICATE OF OWNER

STATE OF WYOMING } SS.
COUNTY OF PARK }

KNOW ALL MEN BY THESE PRESENTS THAT I/WE, THE UNDERSIGNED, HEREBY CERTIFY THAT I/WE ARE OWNERS AND PROPRIETORS OF LOT 14-A, BAKKEN SUBDIVISION #2, CODY, WYOMING, AS LOCATED IN BOOK "10" OF PLATS, PAGE 148, ACCORDING TO THE RECORDS OF THE COUNTY CLERK AND RECORDER OF PARK COUNTY, STATE OF WYOMING, AS EVIDENCED BY THAT WARRANTY DEED RECORDED AS DOCUMENT #2021-3462 IN SAID CLERK AND RECORDER'S OFFICE;

THAT WE HAVE CAUSED SAID PROPERTY TO BE SURVEYED AND PLATTED AS SHOWN HEREON AS THE CEDAR VIEW MINOR SUBDIVISION LOCATED WITHIN THE CITY OF CODY; THAT THE SUBDIVISION AS APPEARS ON THIS PLAT IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETORS; THAT WE HEREBY DEDICATE EASEMENTS LABELED HEREON TO THE USES SO NOTED; THAT SAID LANDS ARE SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY AND MINERAL RIGHTS OR RESERVATIONS ON RECORD.

KIRA SCHOONOVER

STATE OF WYOMING } SS.
COUNTY OF PARK }

THE FOREGOING CERTIFICATE OF OWNER WAS ACKNOWLEDGED BEFORE ME BY KIRA SCHOONOVER

THIS _____ DAY OF _____, 2022, WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC

CLERK AND RECORDER ACCEPTANCE

THIS PLAT WAS ACCEPTED IN THE OFFICE OF THE CLERK AND RECORDER, PARK COUNTY, WYOMING, AT _____ O'CLOCK _____ M. ON THIS _____ DAY OF _____, 2022, FILED FOR RECORDING IN BOOK OR PLAT CABINET _____ AT PAGE _____ AND RECORDED AS COMPUTER RECORD DOCUMENT NUMBER _____

PARK COUNTY CLERK

BY: _____ DEPUTY.

CITY PLANNING AND ZONING BOARD

APPROVED AS OF _____ DAY OF _____, 2022 BY THE CITY PLANNING AND ZONING BOARD OF CODY, WYOMING.

CHAIRMAN

CITY COUNCIL APPROVAL

APPROVED AS OF _____ DAY OF _____, 2022 BY THE CITY COUNCIL OF CODY, WYOMING.

MAYOR - MATT HALL

ATTEST: CINDY BAKER
ADMINISTRATIVE SERVICES OFFICER

PRELIMINARY PLAT OF SCHOONOVER MINOR SUBDIVISION

LOCATED WITHIN

LOT 14-A OF BAKKEN SUBDIVISION NO. 2,
RESURVEY T.53N., R.101W., 6TH P.M.,
CITY OF CODY, PARK COUNTY, WYOMING

PREPARED FOR: KIRA SCHOONOVER

PREPARED BY: ENGINEERING ASSOCIATES
CONSULTING ENGINEERS & SURVEYORS
902 13TH STREET
CODY, WYOMING 82414

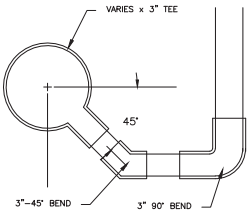


JOB NO. 21100.14
07/18/2022

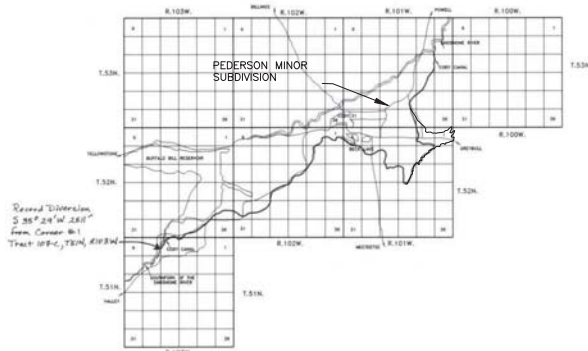
NOTES

1. BEARINGS ARE BASED ON THE CITY OF CODY COORDINATE SYSTEM, WHICH IS BASED ON THE WYOMING COORDINATE SYSTEM NAD83 WEST CENTRAL ZONE.
2. THE CONTOURS OF THE PROPOSED MINOR SUBDIVISION FLOWS FROM THE SOUTHEAST GENERALLY TO THE NORTHWEST
3. CITY OF CODY IS NOT RESPONSIBLE FOR ENSURING PROPER MAINTENANCE OR DISTRIBUTION
4. ALL LOTS SHALL BE SPRINKLE ONLY BY PUMP POINT LOCATIONS. WATER WILL BE SUPPLIED TO THE SCHOONOVER MINOR SUBDIVISION BY MEANS OF PIPE LINE ON THE EAST SIDE OF THE SUBDIVISION ALONG ROBERTS STREET.
5. WATER USERS WILL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REPAIR OF THEIR IRRIGATION SYSTEM.

IRRIGATED LANDS UNDER SCHOONOVER MINOR SUBDIVISION (ACRES)					
LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	TOTAL
0.54	0.20	0.24	0.24	0.25	1.47

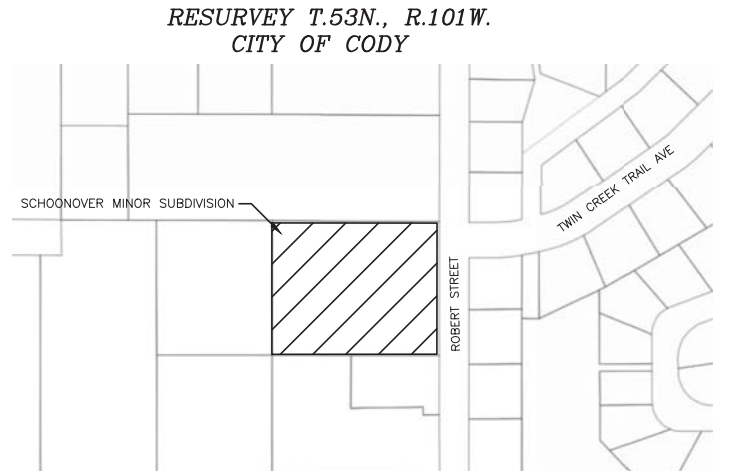


NOTE:
1. TOP OF RISER PIPE TO BE 1\"/>



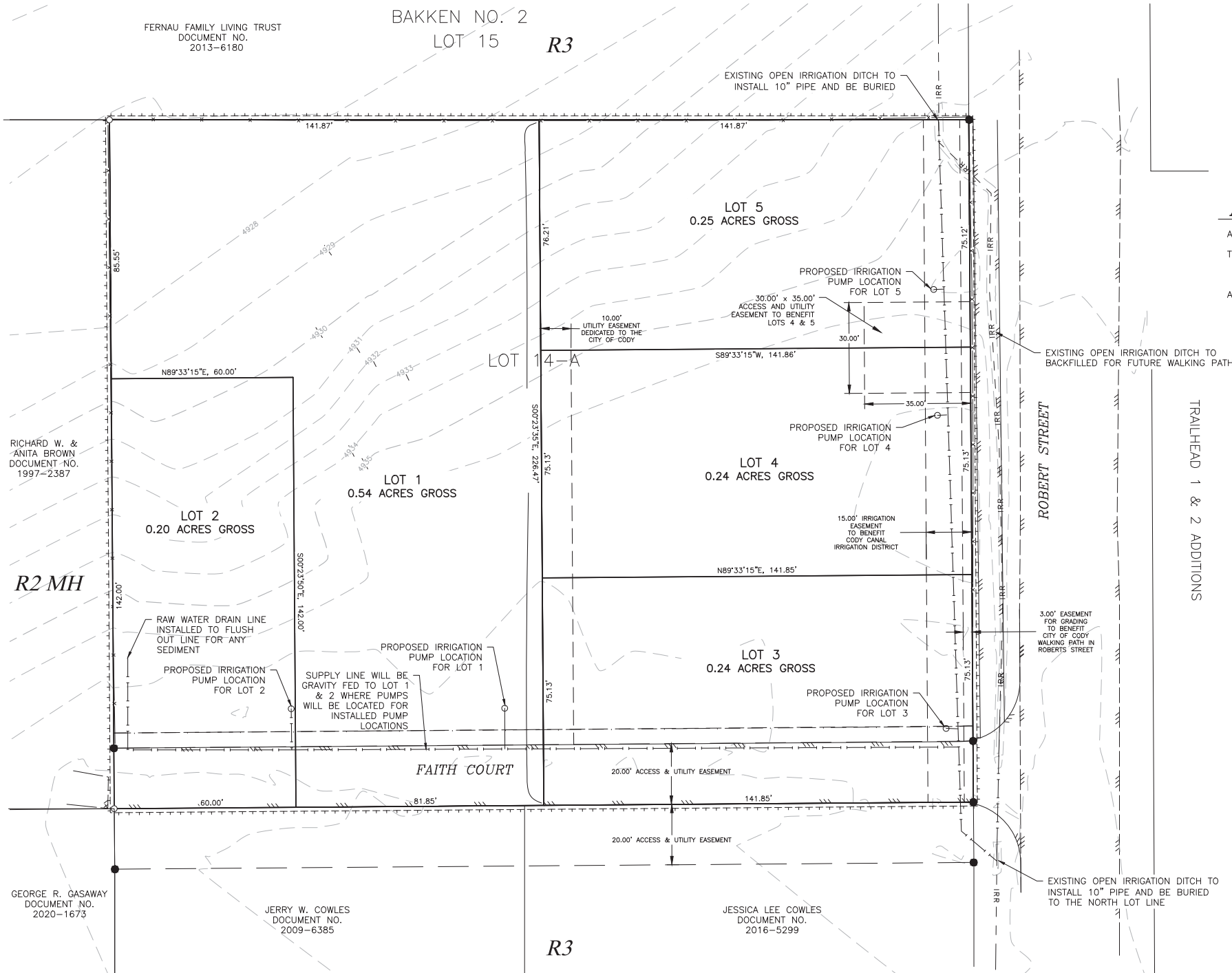
LOCATION MAP

NOT TO SCALE



VICINITY MAP

0 75 150 300
SCALE (FT)



APPROVAL

APPROVED BY THE CODY CANAL IRRIGATION DISTRICT
THIS ____ DAY OF _____, 2022.

ATTEST: _____
DENNIS REED — PRESIDENT

OWNER CONSENT

KIRA SCHOONOVER & NOREEN SCHOONOVER ARE THE OWNERS OF THE SCHOONOVER MINOR SUBDIVISION, AS EVIDENCED BY THAT WARRANTY DEED RECORDED AS DOCUMENT #2021-3462 IN THE PARK COUNTY CLERK'S OFFICE:

DO HEREBY CONSENT TO THE WATER DISTRIBUTION PLAN FOR THE SCHOONOVER MINOR SUBDIVISION AS SHOWN HEREON.

KIRA SCHOONOVER

NOREEN SCHOONOVER

STATE OF WYOMING }
COUNTY OF PARK } SS
THE FOREGOING OWNER'S CERTIFICATE WAS ACKNOWLEDGED BEFORE ME BY KIRA SCHOONOVER & NOREEN SCHOONOVER.

THIS ____ DAY OF _____, 2022.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

LEGEND

- ⊙ FOUND 3.5" DIA. BRASS CAP
- FOUND 2" DIA. ALUMINUM CAP, OTHERWISE NOTED
- SET 2.5" DIA. ALUMINUM CAP ON 5/8" DIA. STEEL BAR.
- PROPOSED SUBDIVISION LOT LINES.
- SUBDIVISION BOUNDARY
- EXISTING OPEN IRRIGATION DITCH
- PROPOSED IRRIGATION PIPE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- PROPOSED IRRIGATION TIE-IN POINT / PUMP LOCATION

WATER DISTRIBUTION PLAN
FOR
SCHOONOVER MINOR SUBDIVISION
LOCATED WITHIN

LOT 14-A OF BAKKEN SUBDIVISION NO. 2,
RESURVEY T.53N., R.101W., 6TH P.M.,
CITY OF CODY, PARK COUNTY, WYOMING

PREPARED FOR: KIRA SCHOONOVER

PREPARED BY: ENGINEERING ASSOCIATES
CONSULTING ENGINEERS & SURVEYORS
P.O. BOX 1900
CODY, WYOMING 82414



JOB NO. 21100.14 BOOK NO. 578
09/06/22 P:\21000.46\ACAD\BASE

AGENDA ITEM SUMMARY REPORT

Consider an Ordinance to Amend Title 9, Chapter 1, Section 2 “Contractor Licensing Board Established”

ACTION

Approve Ordinance 2022-17 to amend Title 9, Chapter 1, Section 2 of the Cody City Code, to reduce the number of Contactor Licensing Board Members from ten to seven and add more flexibility in the composition of those qualified to serve on the Board.

SUMMARY

The City code currently requires ten people to serve on the Contractor Licensing Board. The Board has the responsibility to develop and implement the contractor licensing requirement, licensing application and licensing review procedures, and to serve as the Board of Appeals for any building code appeals. We are experiencing difficulties in finding that many contractors that are willing to serve on the Board, and regularly attend the meetings. The model presented by the Building Code only requires five people to serve on the building code Board of Appeals. Staff is proposing that the Contractor Licensing Board/Board of Appeals consist of seven members.

The Board would consist of two general contractors, one electrician, one mechanical/HVAC contractor, one plumbing contractor, and two at-large positions that are either architects, engineers, or otherwise qualified by experience and training to pass on matters pertaining to building construction and are not employees of the City. The number of plumbers would be reduced from two to one, and electricians from two to one. A City Council member would no longer be a voting member, but it is expected they would serve in a liaison role, much like occurs with the Planning and Zoning Board.

Flexibility is added by not requiring an architect or engineer, but allowing them or others qualified by experience and training (e.g. other contractors) to serve on the Board.

The specific changes to the City code are identified below, using “track changes”. The proposed ordinance is attached.

9-1-2: CONTRACTOR LICENSING BOARD ESTABLISHED:

A. There is hereby established a Contractor Licensing Board, also to act as the Board of Appeals as referenced in the adopted Building Codes, and referred to herein as "the Board".

B. The Board shall consist of seven (7)~~ten (10)~~ members. One~~Two~~ members shall be an~~an~~-at-large members who is~~are~~ an architect, engineer, or otherwise qualified by experience and training to pass on matters pertaining to building construction and are not employees of the City;~~either a resident of the City or who owns a contracting business physically located within the City;~~ one member shall be an architect, structural engineer or civil engineer;~~one member shall be a licensed mechanical/HVAC contractor;~~ one member shall be a City Council member;~~two (2) members shall be licensed general contractors;~~ one (1) member shall be a mechanical/HVAC contractor;~~one (1)~~two (2) members shall be a licensed~~plumbing~~ contractors; and, one (1)~~two (2)~~ members shall be an licensed~~electrical~~ contractors.

AGENDA ITEM NO. _____

C. With the exception of an architect or engineer serving as an at-large member~~the City Council member~~, each member of the Board must be:

1. An individual who is a City of Cody licensed contractor within the specialty he or she is designated to represent on the Board; or

2. A certified journeyman electrician, certified journeyman plumber or certified journeyman HVAC installer who is not individually licensed, but is employed by a licensed contractor that is licensed within the specialty the employee is designated to represent on the Board. If a member of the Board who is not individually licensed, and is serving as an employee of a licensed contractor, resigns, terminates, severs or otherwise loses his or her employment with such licensed contractor, then he or she may continue to serve as a member of the Board until the end of his or her term. If the Board member, at the end of his or her term, is not individually licensed in the specialty he or she is designated to represent, or is not employed by a licensed contractor, then he or she cannot serve as a member of the Board, and the Mayor and Governing Body shall appoint a new member who is licensed to fill the vacancy as described below.

D. The members of the Board shall each be appointed by the Mayor with the approval of the Governing Body, for a three (3) year term. Terms of members shall begin on January 1 and shall be staggered, with no more than four (4) members reaching the end of their term at the end of each calendar year. Subsequent appointments shall be for three (3) years each unless to fill an unexpired term. Members appointed to fill vacancies shall serve until the end of the term which they were appointed to fulfill, and may be reappointed for successive three (3) year terms. At the discretion of the Governing Body, members may be appointed for more than one term.

E. The Board shall meet at such intervals as necessary for the proper performance of its duties, but in any case, shall meet not less than twice each year.

RECOMMENDATION:

Approve Ordinance 2022-17 as drafted. It would become effective December 17, 2022 (after their December meeting, but before appointments are made for 2023).

ALTERNATIVES

1. Approve the ordinance as drafted.
2. Approve the ordinance with any further changes and amendments.
3. Deny the ordinance (Remain with 10 positions.)

ATTACHMENTS:

Ordinance 2022-17

FISCAL IMPACT

No direct financial impacts.

AGENDA ITEM NO. _____

ORDINANCE 2022-17

ORDINANCE TO AMEND TITLE 9, CHAPTER 1, SECTION 2 “CONTRACTOR LICENSING BOARD ESTABLISHED”

WHEREAS, the governing body of the City of Cody has considered a request to reduce the number of persons on the Contractor Licensing Board from ten to seven and to allow more flexibility in the composition of those qualified to serve on the Board; and,

WHEREAS, the governing body of the City of Cody finds the proposal necessary and reasonable.

NOW THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF CODY, WYOMING:

Title 9, Chapter 1, Section 2 of the City of Cody Code is hereby amended to read as follows:

9-1-2: CONTRACTOR LICENSING BOARD ESTABLISHED:

A. There is hereby established a Contractor Licensing Board, also to act as the Board of Appeals as referenced in the adopted Building Codes, and referred to herein as "the Board".

B. The Board shall consist of seven (7) members. Two members shall be at-large members who are an architect, engineer, or otherwise qualified by experience and training to pass on matters pertaining to building construction and are not employees of the City; two (2) members shall be general contractors; one (1) member shall be a mechanical/HVAC contractor; one (1) member shall be a plumbing contractor; and, one (1) member shall be an electrical contractor.

C. With the exception of an architect or engineer serving as an at-large member, each member of the Board must be:

1. An individual who is a City of Cody licensed contractor within the specialty he or she is designated to represent on the Board; or

2. A certified journeyman electrician, certified journeyman plumber or certified journeyman HVAC installer who is not individually licensed, but is employed by a licensed contractor that is licensed within the specialty the employee is designated to represent on the Board. If a member of the Board who is not individually licensed, and is serving as an employee of a licensed contractor, resigns, terminates, severs or otherwise loses his or her employment with such licensed contractor, then he or she may continue to serve as a member of the Board until the end of his or her term. If the Board member, at the end of his or her term, is not individually licensed in the specialty he or she is designated to represent, or is not employed by a licensed contractor, then he or she cannot serve as a member of the Board, and the Mayor and Governing Body shall appoint a new member who is licensed to fill the vacancy as described below.

D. The members of the Board shall each be appointed by the Mayor with the approval of the Governing Body, for a three (3) year term. Terms of members shall begin on January 1 and shall be staggered, with no more than four (4) members reaching the end of their term at the end of each calendar year. Subsequent appointments shall be for three (3) years each unless to fill an unexpired term. Members appointed to fill vacancies shall serve until the end of the term which they were appointed to fulfill, and may be reappointed for successive three (3) year terms. At the discretion of the Governing Body, members may be appointed for more than one term.

E. The Board shall meet at such intervals as necessary for the proper performance of its duties, but in any case, shall meet not less than twice each year.

Effective Date. This Ordinance shall become effective December 17, 2022, after final passage and publication in the Cody Enterprise.

PASSED ON FIRST READING: _____

PASSED ON SECOND READING: _____

PASSED, ADOPTED AND APPROVED
ON THIRD AND FINAL READING: _____

Matt Hall, Mayor

ATTEST:

Cynthia Baker, Administrative Services Officer

AGENDA ITEM SUMMARY REPORT
An Ordinance to Annex to the City of Cody
1.85 acres owned by Tim and Gina Leonhardt within Tract A of
the Paddock Estates Subdivision, and to authorize the subdivision of the
property along the annexation boundary.
Ordinance 2022-15

ACTION:

Consider Ordinance 2022-15 to annex to the City of Cody 1.85 acres owned by Tim and Gina Leonhardt, located south of the Greybull Highway and about 500 feet east of the Beacon Hill Road/Road 3CXS intersection. The 1.85 acres would be subdivided from the balance of the property, which would remain in the County, through the annexation process.

BACKGROUND:

Tim and Gina Leonardt have submitted a petition for the annexation to the City of Cody of 1.85 acres of their property (see map). The City Clerk has certified their petition. The Planning and Zoning Board reviewed the request at their September 13, 2022 meeting and recommends approval of the annexation. They also recommend approval of the associated subdivision, with certain variances and conditions of approval. A public hearing has been advertised and will be held at the September 20, 2022 City Council meeting.

An annexation report has been prepared pursuant to State statute, and is attached.



PROCEDURE:

The procedures for annexation are outlined in Wyoming Statue 15, Article 4. In brief, the process involves a public hearing after proper notice and preparation of an annexation report, followed by consideration of an annexation ordinance and filing of an annexation survey. Because the area being annexed is only a portion of an existing parcel, the subdivision process is also being incorporated. The attached plat of Leonhardt Addition to the City of Cody is for the purpose of dividing the property

AGENDA ITEM NO. _____

along the annexation boundary, and establishing the record of the annexation as required by State statute.

REVIEW CRITERIA:

Before the land can be annexed, the governing body (City Council) is to make the following findings at the public hearing. Staff comments supporting each finding are noted in italics. They are noted here for Planning and Zoning Board review.

§ 15-1-402. Annexing territories; findings required; when contiguity not deemed affected; annexation report.

(a) Before any territory is eligible for annexation, the governing body of any city or town at a hearing as provided in W.S. 15-1-405 shall find that:

(i) An annexation of the area is for the protection of the health, safety and welfare of the persons residing in the area and in the city or town;

Comment: The annexation allows city services, including utilities and city police services, to be provided to the property, which services can benefit the health, safety and welfare of the future occupants of the property. Timing and availability are outlined in the annexation report.

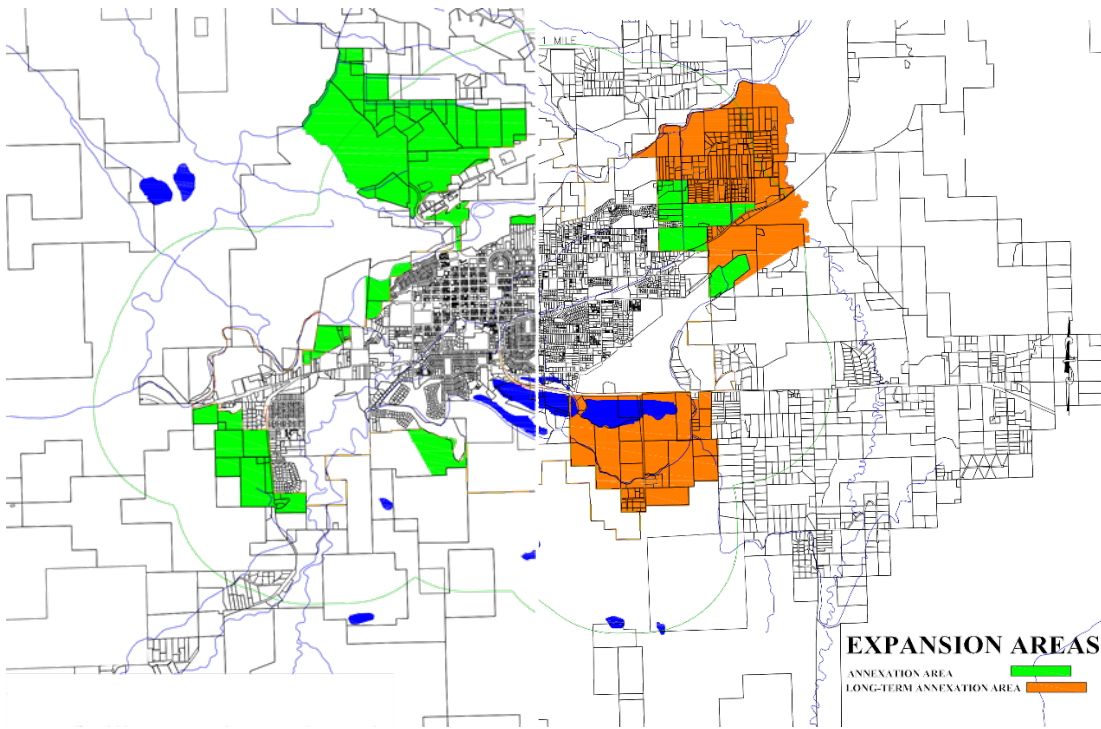
(ii) The urban development of the area sought to be annexed would constitute a natural, geographical, economical and social part of the annexing city or town;

Comment: The property proposed for annexation is located directly on a state highway and is bordered by the City along the west and north boundary, making it a natural and geographically reasonable extension of the City. Only the portion of the property north of the irrigation lateral is proposed for annexation. Including only this area is logical, as leaving the balance of the property in the County creates a buffer between the annexed area and neighboring properties in the County.

Standard growth and development patterns are typically focused along the main transportation and utility corridors, so it is not surprising that development pressure is occurring in this area. Availability of sufficient land for urban development is necessary to allow economical development options and growth of cities and towns. At least in the perspective of many realtors and would-be developers, Cody needs additional land for urban development, so extending the City limits to include additional areas capable of urban development will allow some of those developments to be realized. From an efficiency perspective, development at an urban level provides opportunities and efficiencies that would not be possible without urban services.

The City's preferred growth areas are identified in the master plan by the following map (shown in green). This property is in the large orange area south of the City. While the green areas are priority annexation areas, the orange areas are identified as long-term annexation areas. Note that the long-term annexation area includes this property, but not properties further east than the Leonhardt's. The annexation map was based on economic factors and natural features.

AGENDA ITEM NO. _____



There has not been a reason identified that the occupants of the annexed property would not be able to form a social part of the City.

(iii) The area sought to be annexed is a logical and feasible addition to the annexing city or town and the extension of basic and other services customarily available to residents of the city or town shall, within reason, be available to the area proposed to be annexed;

Comment: Annexation of the property is logical and feasible due to the benefits just noted in “ii”. The extension of basic and other services is planned as outlined in the annexation report, and includes City domestic water, a private sewer connecting to the City system, and City power.

It is noted that the property is currently within the Northwest Rural Water District service area, and that the property cannot be served with City water until the property is de-annexed from Northwest Rural Water. The process to do so is planned to occur concurrently with the annexation, but may take slightly longer than the annexation and zoning. As Northwest rural water cannot easily serve the portion of the property proposed for annexation, their staff is supportive of the request. County staff, which is also involved in the de-annexation process has also indicated support of allowing the City to serve the property with domestic water.

The language that accompanies the expansion area map in the master plan is also applicable and is cited here:

Principle 3.4.b. Annexation Areas. Annexation areas within the growth area are those areas that the City has the most interest in annexing, due to the factors that make urban development most cost-effective. ...It is the intent of the City to plan for extension of City services to these areas, as needed to serve urban density development...

(iv) The area sought to be annexed is contiguous with or adjacent to the annexing city or town, or the area meets the requirements of W.S. 15-1-407;

AGENDA ITEM NO. _____

Comment: The area is contiguous, as defined by the annexation Statute. The intervening highway does not cause the property to not be contiguous to the city limits, per WY Statue 15-1-402(b).

(v) If the city or town does not own or operate its own electric utility, its governing body is prepared to issue one (1) or more franchises as necessary to serve the annexed area pursuant to W.S. 15-1-410; and

Comment: Not applicable, as the City of Cody operates its own electric utility.

(vi) The annexing city or town, not less than twenty (20) business days prior to the public hearing required by W.S. 15-1-405(a), has sent by certified mail to all landowners and affected public utilities within the territory a summary of the proposed annexation report as required under subsection (c) of this section and notice of the time, date and location of the public hearing required by W.S. 15-1-405(a).

Comment: Met. Notice was provided by certified mail to neighboring property owners within 140 feet and affected utility providers on August 17, 2022 and by publication in the Cody Enterprise on August 23 and August 30, 2022.

Thirteen neighboring property owners were notified by mail. As of the time of this staff report we have received four responses, one supportive and three expressing some level of objection, either to the proposed zone or both the annexation and zoning. All comments are attached.

Plat

A subdivision plat, complete with an annexation survey and legal description has been prepared and a copy is attached. This staff report will not go through all of the subdivision standards, but will simply point out that no subdivision improvements are triggered other than those identified in the annexation report, and installation of those improvements (utilities) is not required until the time of building permits for development of the property. Applicable notes, subdivision variances, and conditions of the subdivision are included in the recommendation at the end of this report.

OTHER:

Public Hearing:

Please note that this staff report was prepared without the benefit of the information that will be provided at the public hearing. All public comments need to be considered.

As of the time of this staff report, four written responses have been received. One in support and three expressing some level of objection to the annexation and/or zoning of the property. All written responses are attached.

ATTACHMENTS:

Subdivision/Annexation Plat

Annexation Report

Neighbor Comments

(Available, but not attached: annexation petition, Clerk's certification of petition, notices, mailing list, title report)

ALTERNATIVES:

Approve, amend, or deny Ordinance 2022-15 to annex the 1.85 acres of the Leonhardt property.

AGENDA ITEM NO. _____

RECOMMENDATION:

The Planning and Zoning Board recommends that the City Council adopt the findings outlined in the agenda summary and approve Ordinance 2022-15 to annex the Leonhardt property to the City of Cody. The ordinance also assigns the property to Ward 1.

In addition, authorize the associated subdivision, with the following variances and conditions of approval:

Subdivision Variances:

- 1) To the alley requirement.
- 2) To waive the requirement to pipe the irrigation lateral through the property (same variance that was granted for the subdivision across the highway.)
- 3) To allow the water line construction plans to be completed after the plat is recorded.
- 4) To allow the utility fees and electrical estimate to be paid after the plat is recorded.

Conditions of Approval:

1. Prior to the mayor signing the plat, submit a plan view of the utility extensions to the property for review and approval by City Staff.
2. On the plat, provide a public utility easement along the highway frontage, based on the utility layout submitted for Condition #1 and the ability of those utilities to be extended to the east boundary of the Leonhardt property. It is expected that this easement will be in the range of 20-30 feet wide. (15' currently shown)
3. Obtain approval of the irrigation water distribution plan between the two lots from the Cody Canal Irrigation District prior to recording the plat.
4. The water main extension may be installed, but the annexed property cannot be served with City water until the property is removed from the Northwest Rural Water District. The property owner is responsible to work with the Northwest Rural Water District to complete that process.
5. As outlined in the subdivision ordinance, the utility fees and electrical estimate are to be paid and the subdivision improvements (installation of water main, electrical extension, and sewer service) are to be completed prior to issuance of any building permits on the annexed property. Add a note to the following effect to the plat: "Outstanding subdivision requirements must be completed prior to issuance of any building permits on Lot 1. Contact the community development office for information."

AGENDA & SUMMARY REPORT TO:

Tim and Gina Leonhardt

AGENDA ITEM NO. _____

ORDINANCE 2022-15

AN ORDINANCE RELATING TO THE ANNEXATION TO THE CITY OF CODY, WYOMING OF APPROXIMATELY 1.85 ACRES OWNED BY TIM AND GINA LEONHARDT WITHIN TRACT A OF THE PADDOCK ESTATES SUBDIVISION

WHEREAS, notice of a public hearing to consider the annexation of the subject property was published in the Cody Enterprise on August 23 and 30, 2022, and mailed to owners of properties within 140 feet of the subject property on August 17, 2022, as required;

WHEREAS, the Cody Planning and Zoning Board reviewed the annexation request at their September 13, 2022 regular meeting and recommended approval as requested;

WHEREAS, a public hearing was held on September 20, 2022 before the City Council at their regular meeting, as advertised, at which meeting the City Council heard comments from all persons wishing to speak for or against the proposed ordinance;

WHEREAS, the Cody City Council makes the following findings in accordance with Section 402(a) of Article 4 of Chapter 1 of Title 15, Wyoming Statutes, for the reasons noted in the agenda summary:

- (i) An annexation of the area is for the protection of the health, safety and welfare of the persons residing in the area and in the city or town;
- (ii) The urban development of the area sought to be annexed would constitute a natural, geographical, economical and social part of the annexing city or town;
- (iii) The area sought to be annexed is a logical and feasible addition to the annexing city or town and the extension of basic and other services customarily available to residents of the city or town shall, within reason, be available to the area proposed to be annexed (Making note that no utility services are needed or proposed for the annexed land);
- (iv) The area sought to be annexed is contiguous with or adjacent to the annexing city or town, or the area meets the requirements of W.S. 15-1-407;
- (v) If the city or town does not own or operate its own electric utility, its governing body is prepared to issue one (1) or more franchises as necessary to serve the annexed area pursuant to W.S. 15-1-410 (Not Applicable); and,
- (vi) The annexing city or town, not less than twenty (20) business days prior to the public hearing required by W.S. 15-1-405(a), has sent by certified mail to all landowners and affected public utilities within the territory a summary of the proposed annexation report as required under subsection (c) of this section and notice of the time, date and location of the public hearing required by W.S. 15-1-405(a).

WHEREAS, the Cody City Council has thoroughly reviewed the matter and deems that it is in the best interest of the public and the City of Cody to approve the proposed annexation ordinance.

NOW THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF CODY, WYOMING:

Section 1. The following described territory is hereby annexed to the City of Cody, Wyoming:

That property described in Exhibit A, as attached.

Section 2. The territory described in Section 1 of this ordinance is hereby made a part of Ward Number 1 of the City of Cody, Wyoming.

Section 3. The survey and plat map shall be provided pursuant to W.S. 15-1-413, and shall be filed pursuant to said statute. (Copy attached as Exhibit B)

This ordinance shall become effective after final passage and publication in the Cody Enterprise.

PASSED ON FIRST READING 9/20/2022

PASSED ON SECOND READING

PASSED ON THIRD READING

Matt Hall, Mayor

Attest:

Cynthia Baker, Administrative Services Director

EXHIBIT A

LEGAL DESCRIPTION OF LOT 1
(PORTION BEING ANNEXED TO
THE CITY OF CODY)

A PORTION OF A TRACT "A", PADDOCK ESTATES, AS FILED IN BOOK "C" OF PLATS AT PAGE 51, ACCORDING TO THE RECORDS OF THE COUNTY CLERK AND RECORDER OF PARK COUNTY, STATE OF WYOMING, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 52 NORTH, RANGE 101 WEST, OF THE 6TH PRINCIPLE MERIDIAN, PARK COUNTY, WYOMING, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID TRACT "A" MARKED BY A ONE-HALF INCH DIAMETER IRON PIPE; THENCE, ALONG THE WEST BOUNDARY OF SAID TRACT "A",

N.00°09'44"E., 582.92 FEET (BASIS OF BEARINGS) TO THE POINT OF BEGINNING; THENCE, CONTINUING ALONG SAID WEST BOUNDARY,

N.00°09'44"E., 305.57 FEET TO THE BEGINNING OF A NON-TANGENT CURVE ON THE SOUTH RIGHT-OF-WAY OF U.S. HIGHWAY 14-16-20, BEING MARKED BY A BRASS CAP MONUMENT; THENCE, ALONG SAID SOUTH RIGHT-OF-WAY THE FOLLOWING FOUR COURSE:

SOUTHEASTERLY ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 11,394.16 FEET, AN ARC LENGTH OF 229.90 FEET, THROUGH A CENTRAL ANGLE OF 01°09'22", OF WHICH THE LONG CHORD BEARS S.89°21'17"E., 229.90 FEET TO A POINT OF TANGENCY; THENCE,

S.88°46'36"E., 69.12 FEET; THENCE,

N.01°13'24"E., 5.00 FEET; THENCE,

S.88°46'36"E., 230.93 FEET TO THE INTERSECTION WITH THE CENTERLINE OF A DRAINAGE DITCH; THENCE, ALONG THE CENTERLINE OF SAID DRAINAGE DITCH THE FOLLOWING FOURTEEN (14) COURSES:

S.44°20'41"W., 27.13 FEET; THENCE,

S.50°29'26"W., 31.82 FEET TO THE BEGINNING OF A TANGENT CURVE; THENCE,

SOUTHWESTERLY ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 40.00 FEET, AN ARC LENGTH OF 24.45 FEET, THROUGH A CENTRAL ANGLE OF 35°01'18", OF WHICH THE LONG CHORD BEARS S.68°00'05"W., 24.07 FEET TO A POINT OF TANGENCY; THENCE,

S.85°30'44"W., 19.03 FEET TO THE BEGINNING OF A TANGENT CURVE; THENCE, SOUTHWESTERLY ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 70.00 FEET, AN ARC LENGTH OF 47.93 FEET, THROUGH A CENTRAL ANGLE OF 39°13'58", OF WHICH THE LONG CHORD BEARS S.65°53'45"W., 47.00 FEET TO A POINT OF TANGENCY; THENCE,

S.46°16'46"W., 30.26 FEET TO THE BEGINNING OF A TANGENT CURVE; THENCE,

SOUTHWESTERLY ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 115.00 FEET, AN ARC LENGTH OF 43.17 FEET, THROUGH A CENTRAL ANGLE OF 21°30'36", OF WHICH THE LONG CHORD BEARS S.57°02'04"W., 42.92 FEET TO A POINT OF TANGENCY; THENCE,

S.67°47'22"W., 41.40 FEET; THENCE,

S.76°37'08"W., 20.98 FEET; THENCE,

S.67°58'44"W., 27.73 FEET TO THE BEGINNING OF A TANGENT CURVE; THENCE,

SOUTHWESTERLY ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 590.00 FEET, AN ARC LENGTH OF 177.04 FEET, THROUGH A CENTRAL ANGLE OF 17°11'35", OF WHICH THE LONG CHORD BEARS S.59°22'57"W., 176.38 FEET TO A POINT OF TANGENCY; THENCE,

S.50°47'09"W., 24.81 FEET TO THE BEGINNING OF A TANGENT CURVE; THENCE,

SOUTHWESTERLY ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 301.50 FEET, AN ARC LENGTH OF 80.11 FEET, THROUGH A CENTRAL ANGLE OF 15°13'25", OF WHICH THE LONG CHORD BEARS S.58°23'52"W., 79.87 FEET TO A POINT OF TANGENCY; THENCE,

S.66°00'35"W., 23.82 FEET TO THE POINT OF BEGINNING.

THE ABOVE-DESCRIBED PARCEL CONTAINS 1.849 ACRES, MORE OR LESS.



PLAT OF LEONHARDT ADDITION TO THE CITY OF CODY

FOR TIMOTHY F. & GINA L. LEONHARDT
LOCATED WITHIN A PORTION OF TRACT "A", LOT 60 OF THE PLAT OF PADDOCK ESTATES, SITUATED IN SECTION 4, TOWNSHIP 52 NORTH, RANGE 101 WEST,
6TH PRINCIPAL MERIDIAN, CITY OF CODY, PARK COUNTY, WYOMING
2022

LEGAL DESCRIPTION ENTIRE PROPERTY

A PORTION OF A TRACT "A", PADDOCK ESTATES, AS FILED IN BOOK "C" OF PLATS AT PAGE 51,
ACCORDING TO THE RECORDS OF THE COUNTY CLERK AND RECORDS OF PARK COUNTY, STATE OF
WYOMING, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 52 NORTH, RANGE 101
WEST, 6TH PRINCIPAL MERIDIAN, PARK COUNTY, WYOMING, BEING MORE PARTICULARLY

BEGINNING AT THE SOUTHWEST CORNER OF SAID TRACT "A" MARKED BY A ONE-HALF INCH
DIAMETER IRON PIPE; THENCE, ALONG THE WEST BOUNDARY OF SAID TRACT "A",

N.02°04'E., 89.04 FEET (BASIS OF BEARINGS) TO THE BEGINNING OF A NON-TANGENT CURVE ON THE
SOUTH RIGHT-OF-WAY OF U.S. HIGHWAY 14-18-20, BEING MARKED BY BRASS CAP MONUMENT; THENCE, ALONG SAID SOUTH RIGHT-OF-WAY THE FOLLOWING FOUR COURSES:

SOUTHEASTERLY ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 11,264.16 FEET, AN ARC
LENGTH OF 23.80 FEET, THROUGH A CENTRAL ANGLE OF 0°07'22", OF WHICH THE LONG CHORD
BEARS S.89°57'17"E., 23.80 FEET TO A POINT OF TANGENCY; THENCE,

S.89°57'17"E., 69.12 FEET, THENCE,

N.01°13'34"E., 5.00 FEET, THENCE,

N.01°13'34"E., 5.00 FEET, THENCE,

N.01°13'34"E., 45.54 FEET TO THE EAST BOUNDARY OF SAID TRACT "A"; THENCE, ALONG SAID
EAST BOUNDARY,

S.02°04'W., 89.04 FEET TO THE SOUTHEAST CORNER OF SAID TRACT "A"; THENCE, ALONG THE
SOUTH BOUNDARY OF SAID TRACT "A",

N.88°17'01"W., 67.61 FEET TO THE POINT OF BEGINNING (POB);

THE ABOVE-DESCRIBED PARCEL CONTAINS 14.389 ACRES, MORE OR LESS.

LEGAL DESCRIPTION OF LOT 1 (PORTION BEING ANNEXED TO THE CITY OF CODY)

A PORTION OF A TRACT "A", PADDOCK ESTATES, AS FILED IN BOOK "C" OF PLATS AT PAGE 51,
ACCORDING TO THE RECORDS OF THE COUNTY CLERK AND RECORDS OF PARK COUNTY, STATE OF
WYOMING, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 52 NORTH, RANGE 101
WEST, 6TH PRINCIPAL MERIDIAN, PARK COUNTY, WYOMING, BEING MORE PARTICULARLY

BEGINNING AT THE SOUTHWEST CORNER OF SAID TRACT "A" MARKED BY A ONE-HALF INCH
DIAMETER IRON PIPE; THENCE, ALONG THE WEST BOUNDARY OF SAID TRACT "A",

N.02°04'E., 89.04 FEET (BASIS OF BEARINGS) TO THE POINT OF BEGINNING (POB);

SOUTHEASTERLY ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 11,264.16 FEET, AN ARC
LENGTH OF 23.80 FEET, THROUGH A CENTRAL ANGLE OF 0°07'22", OF WHICH THE LONG CHORD
BEARS S.89°57'17"E., 23.80 FEET TO A POINT OF TANGENCY; THENCE,

S.89°57'17"E., 69.12 FEET, THENCE,

N.01°13'34"E., 5.00 FEET, THENCE,

N.01°13'34"E., 5.00 FEET, THENCE,

N.01°13'34"E., 45.54 FEET TO THE INTERSECTION WITH THE CENTERLINE OF A DRAINAGE DITCH;
THENCE, ALONG THE CENTERLINE OF SAID DRAINAGE DITCH THE FOLLOWING FOURTEEN (14)
COURSES:

S.89°50'09"W., 2853.32';

S.89°50'09"W., 27.73 FEET, THENCE,

S.02°04'W., 51.45 FEET TO THE BEGINNING OF A TANGENT CURVE; THENCE,

SOUTHEASTERLY ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 45.00 FEET, AN ARC
LENGTH OF 24.45 FEET, THROUGH A CENTRAL ANGLE OF 27°07'22", OF WHICH THE LONG CHORD
BEARS S.89°50'09"W., 24.07 FEET TO A POINT OF TANGENCY; THENCE,

S.02°04'W., 19.04 FEET TO THE BEGINNING OF A TANGENT CURVE; THENCE,

SOUTHEASTERLY ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 70.00 FEET, AN
ARC LENGTH OF 41.81 FEET, THROUGH A CENTRAL ANGLE OF 27°07'22", OF WHICH THE
LONG CHORD BEARS S.89°50'09"W., 41.81 FEET TO A POINT OF TANGENCY; THENCE,

S.89°50'09"W., 30.26 FEET TO THE BEGINNING OF A TANGENT CURVE; THENCE,

SOUTHEASTERLY ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 11,264.16 FEET, AN
ARC LENGTH OF 43.17 FEET, THROUGH A CENTRAL ANGLE OF 27°07'22", OF WHICH THE
LONG CHORD BEARS S.89°50'09"W., 43.17 FEET TO A POINT OF TANGENCY; THENCE,

S.89°50'09"W., 20.98 FEET, THENCE,

S.89°50'09"W., 20.98 FEET, THENCE,

S.89°50'09"W., 27.73 FEET TO THE BEGINNING OF A TANGENT CURVE; THENCE,

SOUTHEASTERLY ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 45.00 FEET, AN
ARC LENGTH OF 24.45 FEET, THROUGH A CENTRAL ANGLE OF 27°07'22", OF WHICH THE LONG CHORD
BEARS S.89°50'09"W., 24.07 FEET TO A POINT OF TANGENCY; THENCE,

S.02°04'W., 24.45 FEET TO THE BEGINNING OF A TANGENT CURVE; THENCE,

SOUTHEASTERLY ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 70.00 FEET, AN
ARC LENGTH OF 41.81 FEET, THROUGH A CENTRAL ANGLE OF 27°07'22", OF WHICH THE
LONG CHORD BEARS S.89°50'09"W., 41.81 FEET TO A POINT OF TANGENCY; THENCE,

S.89°50'09"W., 30.26 FEET TO THE POINT OF BEGINNING.

THE ABOVE-DESCRIBED PARCEL CONTAINS 1.849 ACRES, MORE OR LESS.

REFERENCES

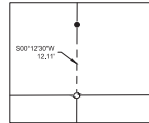
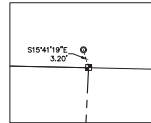
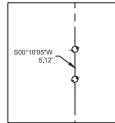
- 1. RECORDS OF THE COUNTY CLERK, BOOK "C" OF PLATS, PAGE 51, RECORDS OF PARK
COUNTY, WYOMING.
- 2. WYOMING DEED BOOK, NO. 201-64807 (TRANSPARATION COMMISSION OF
WYOMING).
- 3. WYOMING DEED BOOK, NO. 201-64807.
- 4. WYOMING DEED BOOK, NO. 201-64807.

BEARING NOTE

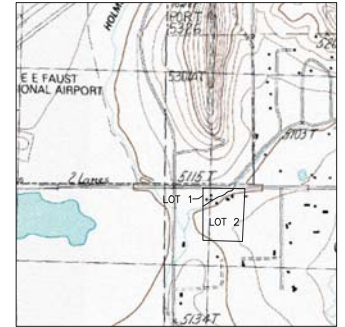
THE BEARINGS SHOWN ON THIS SURVEY ARE DERIVED FROM GPS
OBSERVATIONS, PROJECTED TO THE WYOMING WEST-CENTRAL ZONE. ALL
BEARINGS SHOWN ARE STATE PLANE GRID BEARINGS. ALL DISTANCES ARE
GROUND DISTANCES.

LEGEND	
---	PROPERTY BOUNDARY
---	SECTION LINE
---	RIGHT-OF-WAY LINE
---	ROAD CENTERLINE
---	EXISTING LOT LINE
○	FOUND BRASS CAP MONUMENT
○	FOUND ALUMINUM CAP MONUMENT
○	FOUND 1/2" IRON ROD
○	FOUND 1/2" IRON ROD
○	FOUND 1/2" IRON PIPE
○	SET 5/8" REBAR AND ALUMINUM CAP PLS 18009
○	SET 1/2" REBAR
○	CALCULATED POINT—NOTHING SET OR FOUND
(100.00')	RECORD DATA PER PADDOCK ESTATES FINAL PLAT

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N66°02'30"E	23.82'
L2	S50°47'09"W	24.61'
L3	S67°58'44"W	27.73'
L4	N76°37'08"E	20.98'
L5	N67°42'22"E	41.40'
L6	S46°16'46"W	30.26'
L7	S85°30'44"W	19.03'
L8	S50°29'26"W	31.82'
L9	N44°20'41"E	27.13'
L10	S88°46'36"E	69.12'
L11	N01°13'24"E	5.00'
L12	S01°13'35"W	40.90'
L13	S00°05'13"W	24.10'



CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C1	301.50'	80.11'	15°13'25"	N58°23'52"E	79.87'
C2	590.00'	177.04'	17°11'35"	S59°22'57"W	176.38'
C3	115.00'	43.17'	21°30'36"	N57°02'04"E	42.92'
C4	70.00'	47.93'	39°13'58"	S65°53'45"W	47.00'
C5	40.00'	24.45'	35°01'18"	N68°00'05"E	24.07'
C6	11394.16'	228.90'	1°09'22"	N69°21'17"W	228.90'
C7	11394.16'	46.02'	0°13'52"	S69°57'08"W	46.02'
C8	11498.16'	277.50'	1°23'16"	N69°28'13"W	277.49'



VICINITY MAP
1" = 1000'

CERTIFICATE OF OWNER

I, THE UNDERSIGNED, BEING THE OWNER OF THE LAND HEREIN DESCRIBED, HAVE CAUSED THE LANDS
TO BE SURVEYED THAT THE SUBDIVISION THEREOF AND THE ALLOTMENT OF LOT 1 TO
THE CITY OF CODY BE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE
DESIRE OF THE UNDERSIGNED OWNERS, WHOSE NAMES ARE SET FORTH IN THE
ADJACENT AND NEIGHBORING LOTS HEREIN TO THE CITY OF CODY, THAT THE LANDS
ARE SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY AND OTHER RIGHTS OR
RESERVATIONS OF RECORD, THAT ANY RIGHTS BY VIRTUE OF THE HONORABLE
EXCEPTIONS OF THE STATE OF WYOMING ARE HEREBY RELEASED AND
WAIVED.

I, THE UNDERSIGNED, THE SAID OWNERS, TIMOTHY F. & GINA L. LEONHARDT, WITH
FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES, HAVE CAUSED THIS
CERTIFICATE TO BE SUBSCRIBED THIS _____ DAY OF _____, 2022.

TIMOTHY F. LEONHARDT GINA L. LEONHARDT

ACKNOWLEDGMENT:

STATE OF WYOMING: _____

COUNTY OF PARK: _____

THE FOREGOING COMPLETES CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2022 BY TIMOTHY F. & GINA L. LEONHARDT.

WITNESSES MY HAND AND OFFICIAL SEAL, WYOMING STATE LAW REQUIRES A
NOTARY SEAL TO BE APPLIED HEREON.

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

CITY PLANNING AND ZONING BOARD

RECOMMENDED FOR APPROVAL, THIS _____ DAY OF _____, 2022 BY THE CITY OF
CODY PLANNING AND ZONING BOARD:

CITY CLERK: _____

CITY COUNCIL

APPROVED THIS _____ DAY OF _____, 2022 BY THE CITY COUNCIL OF CODY,
WYOMING.

ATTEST: CITY CLERK: _____ MAYOR: _____

BOARD OF COUNTY COMMISSIONERS

THE CITY CLERK HEREBY CERTIFIES THAT THE SUBDIVISION HEREIN LOCATED WITHIN THE RECORDS OF COUNTY
COMMISSIONERS OF PARK COUNTY, WYOMING, ON THE _____ DAY OF _____, 2022.

CITY CLERK: _____

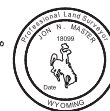
ATTEST: PARK COUNTY CLERK: _____

CLERK AND RECORDER ACCEPTANCE

THIS PLAT WAS ACCEPTED FOR FILING IN THE OFFICE OF THE PARK COUNTY CLERK AND RECORDER ON
THE _____ DAY OF _____, 2022 AND FILED FOR RECORD AT _____ AL UNDER
RECORD NUMBER _____ ETR AT CHARTER _____ PAGE _____

PARK COUNTY CLERK AND RECORDER: _____

BY: DEPUTY: _____



SURVEYORS NARRATIVE

THE PURPOSE OF THIS PLAT SURVEY IS TO SUBDIVIDE THE PROPERTY INTO
THE TWO LOTS SHOWN HEREIN AS LOT 1 AND LOT 2, FROM THE
BOUNDARY OF A PORTION OF TRACT "A" - AS SHOWN ON THE PLAT OF
PADDOCK ESTATES.

CERTIFICATE AND OATH OF SURVEYOR

I, JOHN AL. MASTER, OF T-O ENGINEERS, HEREBY CERTIFY THAT THIS MAP WAS PREPARED USING
DOCUMENTS ON FILE IN THE OFFICE OF THE PARK COUNTY CLERK, AND FROM NOTES TAKEN
DURING ACTUAL SURVEYS PERFORMED BETWEEN JUNE 2021 AND JULY 2021 BY T-O ENGINEERS,
ACCEPTED UNDER MY DIRECTION AND SEAL, AND THAT I AM NOT AWARE OF ANY OTHER
CLAIM THAT I HAVE MATERIALLY, DELIBERATELY AND TO THE BEST OF MY ABILITY MADE THIS SURVEY TO
ACCURATELY REPORT THE DESCRIPTION OF THE BOUNDARIES OF THIS ANNEXATION.



SHEET NO. 1 OF 1

EXHIBIT B

PUBLIC HEARING NOTICE

Date: August 19, 2022

**RE: TIM & GINA LEONHARDT
ANNEXATION AND ZONING REQUEST**

Please return comments by Sept. 6, 2020 to:

Community Development

P.O. Box 2200

Cody, WY 82414

Or email: todds@codywy.gov

The Cody City Council will hold a public hearing to consider: annexation to the City of Cody of approximately 1.85 acres owned by Tim and Gina Leonhardt, located south of State Highway 14-16-20 (Greybull Highway), north of the centerline of the Cody Canal Moller Lateral, and approximately 500 feet east of the Beacon Hill Road/ Road 3CXS intersection; and, zoning the annexed property Medium-High Density Residential (R-3). The Entry Corridor Overlay zone may also be applied. An annexation report is available at City Hall or by e-mailing todds@codywy.gov. City water and electric infrastructure extensions are proposed with future development of the property. A private sewer system would be used to pump sewer to the City's sewer main to the west. Upon annexation, the property would be subject to City codes and property taxes. The public hearing will be held on **Tuesday, Sept. 20, 2022, at 7:00 p.m.**, or as soon thereafter as practical, in the Council Chambers at City Hall at 1338 Rumsey Ave., Cody. The Cody Planning and Zoning Board will also review the proposal for a recommendation at their **Sept. 13, 2022** meeting, at noon, at the same City Hall location. The public is invited to attend and provide comments. Contact the City Planner at (307) 527-3472 if you have questions.



Response Letter from Owners of Neighboring Properties within 140 Feet of Subject Property:

(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear City Council:

☒ I have NO OBJECTION to the annexation and proposed zoning of the subject property.

Name: Scott and Shelley Moore

Address: 1414 10th St O Cody, WY 82414

Comments: _____

☐ I OBJECT to the annexation and/or zoning of the subject property as proposed.

Name: _____

Address: _____

Reason for Objection: _____

If you would like to receive a copy of the Planning and Zoning Board and City Council agenda materials for this request, please provide your email address: _____

PUBLIC HEARING NOTICE

Date: August 19, 2022

Please return comments by Sept. 6, 2020 to:

RE: TIM & GINA LEONHARDT
ANNEXATION AND ZONING REQUEST

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(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear City Council:

☐ I have NO OBJECTION to the annexation and proposed zoning of the subject property.

Name: _____

Address: _____

Comments: _____

☐ I OBJECT to the annexation and/or zoning of the subject property as proposed.

Name: Oliver J. Guilman

Address: 28 Rd 3CXS

Reason for Objection: "Zoning" its zoned

Residential, keep it that way

If you would like to receive a copy of the Planning and Zoning Board and City Council agenda materials for this request, please provide your email address: _____

PUBLIC HEARING NOTICE

Date: August 19, 2022

Please return comments by Sept. 6, 2020 to:

**RE: TIM & GINA LEONHARDT
ANNEXATION AND ZONING REQUEST**

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(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear City Council:

☐ I have NO OBJECTION to the annexation and proposed zoning of the subject property.

Name: _____

Address: _____

Comments: _____

☒ I OBJECT to the annexation and/or zoning of the subject property as proposed.

Name: ELWIN C. KEEVER & NINA J. KEEVER

Address: #22 ROAD 3CXS

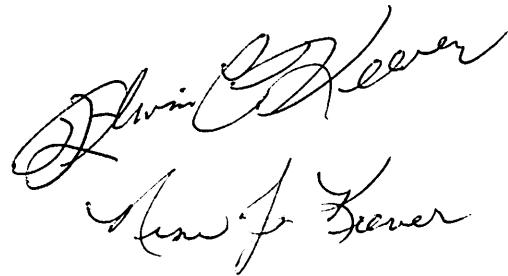
Reason for Objection: SEE FOLLOWING ATTACHMENT WITH COMMENTS.

If you would like to receive a copy of the Planning and Zoning Board and City Council agenda materials for this request, please provide your email address: _____

AUGUST 6, 2022

ELWIN C & NINA J KEEVER
22 ROAD 3CXS
CODY WY 82414

WE FEEL THE CONTINUED COMMERCIALIZATON OF THE PADDOCK ESTATES SUBDIVISION GOES AGAINST THE ORIGINAL INTENT AND PURPOSE OF THE SUBDIVISION. REQUESTING ANNEXATION AND ZONING CHANGE IS SIMPLY ANOTHER AVENUE TO OBTAIN THEIR OBJECTIVE. WE PURCHASED OUR PROPERTY 42 YEARS AGO AND SPENT TIME AND MONEY TO RETAIN AND DEVELOP IT ACCORDING TO THE ORIGINAL COVENANTS RULES AND REGULATIONS. THE PROPOSED AGENDA WILL UNDERMINE THE REASONS FOR OUR PURCHASING IN THE PADDOCK ESTATES AND OPEN THE GATE FOR FUTURE PROPOSALS FOR COMMERCIAL BUILDING IN THE PADDOCK ESTATES.



Elwin C. Keever
Nina J. Keever

PUBLIC HEARING NOTICE

Date: August 19, 2022

Please return comments by Sept. 6, 2020 to:

RE: TIM & GINA LEONHARDT
ANNEXATION AND ZONING REQUEST

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P.O. Box 2200
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Or email: todds@codywy.gov

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(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear City Council:

☐ I have NO OBJECTION to the annexation and proposed zoning of the subject property.

Name: _____

Address: _____

Comments: _____

☒ I OBJECT to the annexation and/or zoning of the subject property as proposed.

Name: Justin & Katie Wink

Address: 11 Equine Dr.

Reason for Objection: We are residential only, and this is a business the Leonhardts want to do. The water table is high and now they want to add 8 additional properties, even if they are rentals.

If you would like to receive a copy of the Planning and Zoning Board and City Council agenda materials for this request, please provide your email address: Katiealexander193@hotmail.com

ANNEXATION REPORT FOR THE TIMOTHY & GINA LEONHARDT PROPERTY

The proposed annexation to the City of Cody of a portion of a parcel located south of State Highway 14-16-20 (Greybull Highway) approximately 500 feet east of the Beacon Hill Road/ Road 3CXS intersection. The existing parent parcel is approximately 14.78 acres and owned by Timothy and Gina Leonhardt. It has an address of 14 Jamieson Circle, Cody, WY. The portion proposed for annexation and division from the rest of the parent parcel is that portion of the property lying north of the centerline of the Cody Canal Moller Lateral. It is approximately 1.85 acres in size. A map of the proposed annexation is shown in the map below, as outlined in white.



This report was prepared by the City of Cody in accordance with Wyoming Statute 15-1-204(c).

Item 1. The total estimated cost of infrastructure improvements required of all landowners by the annexing municipality related to the annexation;

Estimated Cost: \$94,770

Note: The estimate does not include sewer, water, power or 3rd party utility infrastructure for future development—only what is necessary to make City utilities available for the subject property. Extension beyond the minimum may occur with some utilities to better accommodate future development.

Upon annexation, any development of the property would be required to utilize City utilities, including domestic water, sewer, and power. The design and installation of the utility extensions would be entirely at the cost of the applicant, as the utilities are not designed or anticipated to be used by any other properties in the foreseeable future.

The property owner would also be responsible to obtain easements for the utility extensions. The city needs a utility easement across the lot immediately to the west for the water and power extensions and the property owner needs an easement from both lots to the west for the private sewer line. That property owner, who owns both lots to the west, has indicated a willingness to grant the easements. Staff recommends that the easements be acquired by the applicant before the annexation is completed.

More specifically, City power would be extended from a point approximately 210 feet to the west and brought at least to the northwest corner of the property, if not to a central location that could more readily serve future development of the property. A rough estimate for the electrical extension to the northwest corner of the property is \$18,350. (Includes 210' extension, a 3-phase sectionalizing cabinet, a 25 KVA transformer, and associated materials.) A more accurate electrical estimate is not possible at this time due to the widely fluctuation costs for electrical infrastructure and its limited availability. Availability of some materials are more than a year out, so distributors are not committing to prices.

An 8-inch City water main would be extended from a point approximately 460 feet to the west to an accessible location just within the property. Although the property has never been connected to Northwest Rural Water, the property is currently within the Northwest Rural Water District. In order for the City to serve the property with City water, the property must be removed from the Northwest Rural Water District service area. Staff from both Northwest Rural Water and the County have informally indicated support to allow the City to serve the annexed property with City water, but formal approval must come from their Boards. That process will need to be coordinated with the approval of the annexation. The applicant's engineer provided an estimated construction cost for the water line extension of \$32,300. (Includes 460' of 8" water line, two valves, and a fire hydrant assembly.)

Due to the elevation of the property being below what can be served with an extension of the City's gravity-flow sewer, it will be necessary that the property utilize a private low-pressure grinder pump/lift station for sewage disposal. Sewage would be collected from the future development on the property and pumped to the City sewer system through a private line (likely 1 ½" or 2" diameter) to the manhole located just southeast of the intersection of Beacon Hill Road and Highway 14-16-20. The engineer's estimate for the private grinder pump line is \$21,620. (Includes 460' of 2" line and excavation. Grinder pump costs are not included in this figure as they are typically installed with construction of the dwellings.)

Once constructed to City standards, the electrical infrastructure and water main will be accepted for ownership and maintenance by the City. The grinder pump system and low-pressure sewer line would remain private.

The estimated construction costs for these three utilities (power, water, and private sewer) are \$72,270. An additional \$20,000 was identified by the engineer for easement acquisition, design and construction services by the engineering firm, and \$2,500 for asphalt repair, for a total of approximately \$94,770. The estimate does not include sewer and water connection fees, as those are not due until development of buildings on the property. Other than for power, the estimates above are based on information provided by the applicant's engineer.

The landowner will also likely utilize natural gas from Black Hills Energy and telecommunications from one or more of the providers serving that area (TCT, Spectrum, US West). Connection to those utilities would need to be coordinated directly with those providers.

The property has direct access to Highway 14-16-20, so no street improvements are necessary related to the annexation.

Item 2. A list of basic and other services customarily available to residents of the city or town and a timetable when those services will reasonably be available to the area proposed to be annexed;

Services Customarily Available

Sanitary Sewer

Timetable for availability

The plan is to have the applicant install the necessary private low-pressure sewer line, which would make public sewer available for the property. Timing would be at the property owner's discretion.

Domestic Water

The extension of a City water main to the property would also be at the property owner's discretion.

City Raw Water (Irrigation)	Not available in this area. There are no plans for extension of the City irrigation system to this area. Irrigation water is currently available through the Cody Canal Irrigation District system. An irrigation lateral passes through the property.
Electricity	City of Cody power can be installed upon annexation, subject to availability of materials. Timing is otherwise at the property owner's discretion.
Gas	The property owners will need to work directly with Black Hills Energy if new gas connection is desired. A line runs along the highway. Availability is not affected by the annexation.
Sanitation Collection	Service available upon annexation.
Police	Service available upon annexation.
Fire	Already provided.
Emergency Response	Already provided.

3. A projected annual fee or service cost for services described in #2 above;

Until utility services are utilized, there are no annual/monthly utility fees charged by the City. Current city fees for utility connections are noted below.

<u>Services Customarily Available</u>	<u>Current connection fees and monthly fees.</u>
Sewer	See sewer fee schedule in Exhibit "B", attached hereto. Current one-time fees for a typical single-family dwelling or equivalent use include a \$500 plant investment fee, (\$150 surcharge for being in an area served by a City lift station?), and a \$25 inspection fee. Monthly billing is based on a base fee that relates to the size of the water service, plus water usage at \$1.84 per 1,000 gallons. The current table for monthly billing is below.

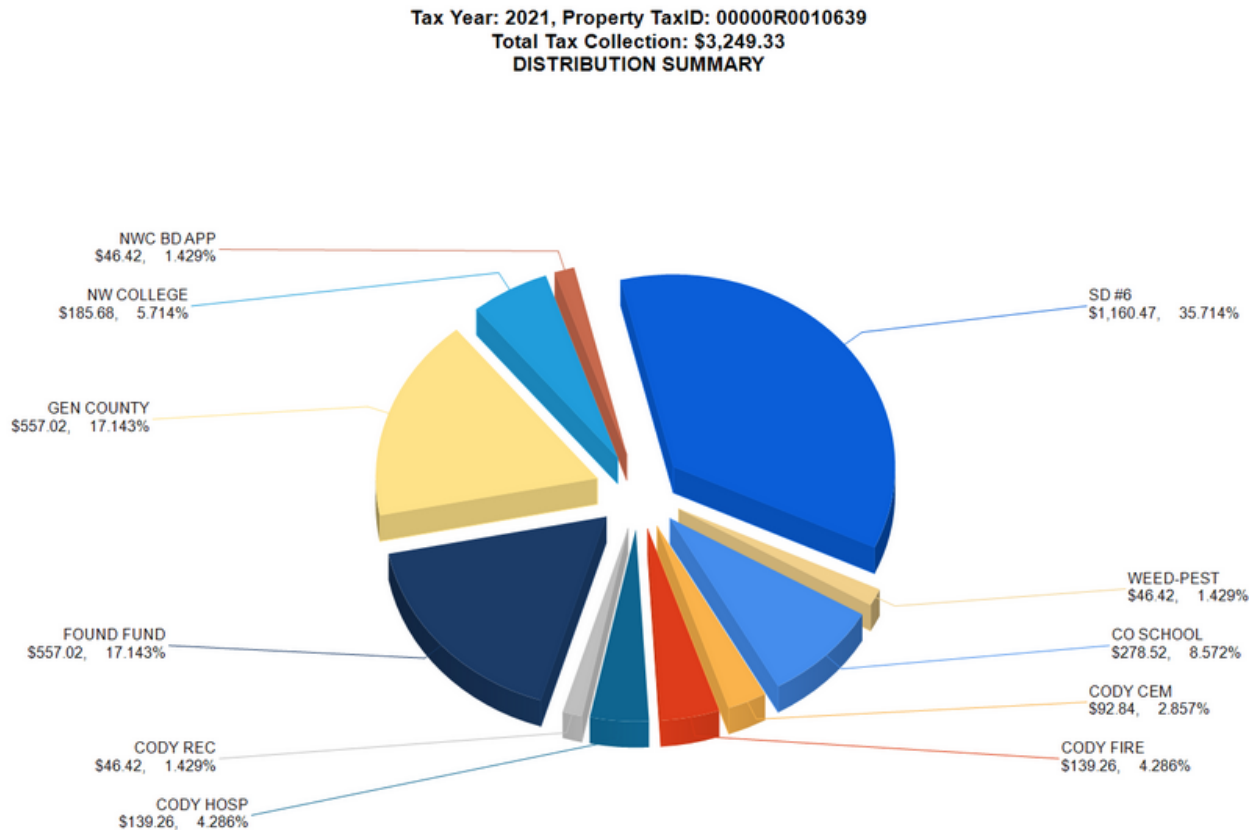
A minimum monthly charge for the water measured through each water meter based upon the size of the water meter as follows:

Meter Size	Minimum Monthly Charge
3/4 inch	\$ 10.14
1 inch	20.28
1 1/2 inch	40.56
2 inch	70.98
3 inch	162.24
4 inch	283.92
6 inch	608.40
Plus \$1.84 per 1,000 gallons per month of water metered	

Water	See adopted fee schedule in “Exhibit C”, attached hereto for current City water connection fees and monthly rates.
Electricity	There is no connection fee for electricity. See adopted City fee schedule in Exhibit “D”, attached hereto, for the monthly billing rates (effective Oct. 1, 2022). Effective October 1, 2022, monthly billing rates for a single residence is \$21.30 for the base fee and \$0.1028 per kilowatt hour.
Gas	No change from existing situation, except individual gas bills would include a franchise fee component (currently 4%) once the property is within the City.
Sanitation Collection	See adopted fee schedule in Exhibit “E”, attached hereto. Sanitation fees for a residential dwelling is \$20.68 per month for one dumpster or roll-out, plus a \$1.35 recycling fee and a \$1.50 Large Item Pickup fee. (\$23.53 per month)
Police	No annual/monthly fee. Paid for through taxes.
Fire	No annual/monthly fee. Paid for through taxes.
Emergency Response	No annual/monthly fee. Paid for through taxes.

4. The current and projected property taxes;

Property taxes for the year 2021 for the entire Leonhardt property were \$3,249.33, which were distributed in the following manner:



The 2021 taxes were based on a market value of \$488,617 for the property and improvements, from which the County Assessor calculated a net taxable value of \$46,418.

As only a portion of the property would be annexed and two lots will exist where there is only one now, the County Assessor will be assigning new valuations to each lot. Two lots are typically of more value than one, even when the total acreage is the same.

For comparison purposes only, if the entire 14.78-acre Leonhardt property were annexed and the same 2021 net taxable value of the property and 2021 mill rates for all other property taxing entities were applied, total property taxes would increase to \$3,481.42 if the entire property were located within the City. That would represent a \$232.09 difference due to the City's general mill levy rate of 5.0 per thousand. However, that is not the proposal. Only 1.85 acres of the Leonhardt property is proposed to be annexed, so the impact to property taxes, assuming all other factors remain unchanged, would be significantly less than the \$232.09 increase noted.

5. The cost of infrastructure improvements required within the existing boundaries of the municipality to accommodate the proposed annexation.

Other than the anticipated infrastructure improvements identified in Item 1 of this report, which are estimated at \$94,770, there are no other needed infrastructure improvements within the City to accommodate the annexation.

AGENDA ITEM SUMMARY REPORT

Ordinance 2022-16 to Rezone 1.85 acres being annexed by Ordinance 2022-15 as Medium-High Density Residential (R-3)

ACTION TO BE TAKEN

Consider Ordinance 2022-16, to rezone the approximate 1.85 acres being annexed by Ordinance 2022-16 as Medium-High Density Residential (R-3).

UPDATE FOR 2ND READING: At first reading of the ordinance the City Council determined that it would be appropriate to include a development agreement to limit the density of development on the property to no more than six dwelling units, as recommended by the Planning and Zoning Board and agreeable to the property owners. That development agreement has been drafted and is now an attachment to the ordinance.

SUMMARY

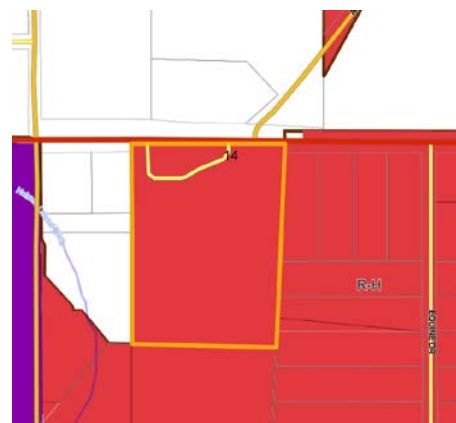
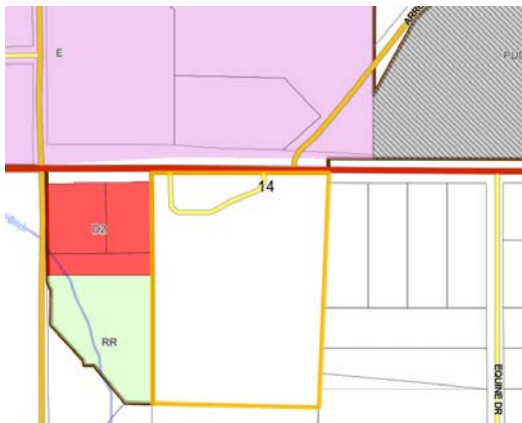
With the annexation of the 1.85 acres, the City needs to determine the appropriate City zoning for the property. The applicant has requested Medium-High Density Residential (R-3) zoning, and the Planning and Zoning Board agrees that R-3 is the appropriate zone to be applied. The staff report to the Planning and Zoning Board contained an analysis, which is repeated below.

The public hearing on the zoning request is combined with the public hearing on the annexation, but separate ordinances are provided for each action.



ZONING:

The existing zoning maps of the City and County for the area are shown below (City left and County right).



AGENDA ITEM NO. _____

Neighboring Properties:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
Northwest	WYDOT facility, Park County Animal Shelter property.	Industrial E
East	Applicant's residential lot (12.4 acres).	County R-H
South	Applicant's residential lot.	County R-H
West	Vacant lot-owned by Vet clinic owner.	General Business (D-2)

The existing zoning of the property is "Rural ½-acre". The county zoning ordinance defines the zone as follows:

A. Residential 1/2-Acre (R-H): The R-H district allows moderate density (1/2 acre average density) residential housing developments served by public water and sewer.

The City zoning across Highway 120 is the Industrial "E" zone. To the west is the City General Business (D-2) zone in red, and Rural Residential (RR) zone in light green. The proposed R-3 zoning is intended to function as a transition between the more intense E and D-2 zones and the less intense Rural Residential and R-H residential zoning to the south, east and southwest.

As a transition, the City has not historically required any minimum size for the zone, nor viewed the transition as a "spot zone". Several similar one-lot-transitions exist in the City. It is one of many residential zones, located so that it has a density higher than the zone(s) on one side and lower than the zone(s) on the other. (Note: The D-2 zone allows all forms of residential development, with no specific density limit, so long as applicable standards are met.)

The requested R-3 zoning allows residential development of up to four units in a building, at a density of one unit per 4,000 square feet of net lot area. That calculates out to about 18 units on the annexed property. The R-3 zone also allows those units to be utilized for short term rental, without the owner living on or next to the property. This is mentioned as some of the neighbors are concerned about the potential of short-term rental on this property, and refer to it as a "commercial use".

If the City Council believes that R-3 results in too much density, the R-2 zone would be the next step down in density. It allows single-family homes or duplexes on individual lots. Minimum lot size for a single-family home in R-2 is 5,500 square feet. A duplex in the R-2 zone requires a lot size of 10,000 square feet. The R-2 zone also allows short-term rental, but only if the owner lives on or immediately next to the property.

Note that the R-3 zone does not limit the number of units on a lot, but the R-2 zone does, so subdivision into individual lots is required in R-2 to have more than two units.

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Notice of the public hearing was provided as required by certified mail to neighboring property owners within 140 feet and affected utility providers on August 17, 2022 and by publication in the Cody Enterprise on August 23 and August 30, 2022. Thirteen neighboring property owners were notified by mail. As of the time of this staff report we have received four responses, one supportive and three expressing some level of objection, either to the proposed zone or both the annexation and zoning. All comments are attached.

ZONING REVIEW CRITERIA:

Rezoning is a legislative action, subject to the full discretion of the governing body. The Cody zoning ordinance does not have specific criteria outlined for granting or denying rezoning requests, other than it must be done by ordinance. For the purpose of providing guidance, staff will refer to the following general standards for zoning that are found in Wyoming state law, Section 15-1-601(d). Please note that the standards are in the context of initially adopting an overall zoning plan for a community, yet they can provide guidance for reviewing site specific proposals as well.

(d) All regulations shall be made:

(i) In accordance with a comprehensive plan and designed to:

Staff Comment: The City adopted an updated comprehensive plan (master plan) in March of 2014. Per the master plan " *The Future Land Use Map...will be the guide for future zoning and development within the City.*" However, the future land use map does not extend beyond the City limits. It is noted that the land is identified in the master plan as within an expansion area (see map above).

(A) Lessen congestion in the streets:

Staff Comment: The property is immediately adjacent to a State highway, so traffic to/from the property will not have to pass through neighborhoods or local streets. Commercial and high-density development along transportation corridors is an efficient layout to reduce congestion in neighborhood streets.

(B) Secure safety from fire, panic and other dangers:

Staff Comment: Any new construction or use would need to comply with applicable development codes, which codes are intended to ensure that adequate protections occur so as to secure safety from fire, panic, or other physical dangers. The City has a functioning residential building code enforcement and inspection program applicable to all residential development, whereas the County does not.

(C) Promote health and general welfare:

Staff Comment: The annexation and accompanying zone change has the potential to help address the current high demand for housing. Development would benefit the local economy, provide jobs, and allow opportunity to further improve the community. The ability to utilize City water and sewer, as opposed to a well and septic system has further environmental and safety benefits. No detrimental effects to the public health from the annexation and zoning have been established.

(D) Provide adequate light and air:

AGENDA ITEM NO. _____

Staff Comment: This standard is typically related to providing sufficient open space and setbacks. Current building codes, subdivision regulations, and zoning setbacks/buffers are intended to meet this requirement.

(E) Prevent the overcrowding of land:

Staff Comment: The zoning, building, utility, and other development regulations of the City are intended to ensure such.

(F) Avoid undue concentration of population:

Staff Comment: The current zoning, building, utility, and other development regulations of the City are intended to ensure such.

(G) Facilitate adequate provisions for transportation, water, sewerage, schools, parks and other public requirements.

Staff Comment: The R-3 (or R-2) zoning will allow development at a level that will more economically facilitate needed utilities. There is adequate capacity in the City utility systems (water, sewer, and power) that are planned to be extended to the property. The transportation system is already adequate to serve the potential density.

The City's subdivision ordinance would address park impacts if additional subdivision were to occur.

Schools have their own tax revenue, and Wyoming jurisdictions typically do not tie school funding to development. Based on current trends, exceeding school capacity is not a present concern.

(ii) With reasonable consideration, among other things, of the character of the district and its peculiar suitability for particular uses:

Staff Comment: The property is at a boundary between commercial development and low-density rural development. The transition character of the requested residential zone seems appropriate for the location.

(iii) With a view to conserving the value of buildings and encouraging the most appropriate use of land throughout the city or town; and

Staff Comment: The nearest neighboring residential building to the east would be about 330 feet from any development on the annexed property. To the south and west, the nearest residence would be about 700 feet away. The "buffer" provided by this physical separation, combined with the fact that there are essentially no traffic impacts, would seem to indicate that no significant impacts will occur to neighboring residential properties or agricultural operations.

If density can be added without impacting other residential areas or agricultural operations, the location should be considered for the more intense development contemplated by the zoning requested.

(iv) With consideration given to the historic integrity of certain neighborhoods or districts and a view to preserving, rehabilitating and maintaining historic properties and encouraging compatible uses within the neighborhoods or districts, but no regulation made to carry out the purposes of this paragraph is valid to the extent it constitutes an unconstitutional taking without compensation.

AGENDA ITEM NO. _____

Staff Comment: There are no identified historic properties/buildings in the immediate area.

OTHER:

Public Hearing:

Please note that this staff report was prepared without the benefit of the information that will be provided at the public hearing. All public comments need to be considered.

As of the time of this staff report, four written responses have been received. One in support and three expressing some level of objection to the annexation and/or zoning of the property. All written responses are attached.

At the Planning and Zoning Board meeting, two property owners that live on Road 3CXS voiced their opposition to the development as they understood it. The Planning and Zoning Board, after much discussion, determined that a development agreement should accompany the rezone of the property to R-3, which agreement would limit the property to no more than three duplexes (six units). They were concerned that the full potential density of the R-3 zone would have impacts on the low-density residential area in the County. The applicants are agreeable to the development agreement, if necessary.

FINANCIAL IMPACT

No direct impact to the City budget is expected. Indirectly, with future development there will be additional permit and tax revenue to the City.

ATTACHMENTS

Ordinance 2022-16

RECOMMENDATION

The Planning and Zoning Board recommends approval of an ordinance to zone the property as Medium-High Density Residential (R-3), but with an accompanying development agreement to limit the property to no more than six dwelling units (three duplexes).

Ordinance 2022-16 is provided to approve the rezone to R-3, and the development agreement is referenced as an attachment to that ordinance.

AGENDA ITEM NO. _____

ORDINANCE 2022-16

**AN ORDINANCE REZONING APPROXIMATELY 1.85 ACRES OWNED BY
TIM AND GINA LEONHARDT WITHIN TRACT A OF THE PADDOCK
ESTATES SUBDIVISION TO MEDIUM-HIGH DENSITY RESIDENTIAL (R-3)**

WHEREAS, notice of a public hearing to consider the zoning of the subject property was published in the Cody Enterprise on August 23 and 30, 2022, and mailed to owners of properties within 140 feet of the subject property on August 17, 2022, as required;

WHEREAS, the Cody Planning and Zoning Board reviewed the zoning request at their September 13, 2022 regular meeting and recommended approval as requested;

WHEREAS, a public hearing was held on September 20, 2022 before the City Council at their regular meeting, as advertised, at which meeting the City Council heard comments from all persons wishing to speak for or against the proposed ordinance;

WHEREAS, the governing body of the City of Cody has reviewed the recommendation and public comments and finds that it is in the best interest of the public to rezone the area requested to Medium-High Density Residential (R-3).

**NOW THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF
THE CITY OF CODY, WYOMING:**

- Section 1: That property the described in Exhibit A, as attached, shall be and the same is hereby rezoned to Medium-High Density Residential (R-3).
- Section 2: The development agreement regarding the density of the subject property (Exhibit B) shall be recorded with the County Clerk's office.
- Section 2: That the official zoning map of the City of Cody is amended to show the foregoing zone change.

Effective Date. This Ordinance shall become effective after final passage and publication in the Cody Enterprise.

PASSED ON FIRST READING: 9/20/2022

PASSED ON SECOND READING:

PASSED, ADOPTED AND APPROVED
ON THIRD AND FINAL READING:

ATTEST:

Matt Hall, Mayor

Cynthia Baker, Administrative Services Officer

EXHIBIT A:

LEGAL DESCRIPTION OF LOT 1
(PORTION BEING ANNEXED TO
THE CITY OF CODY)

A PORTION OF A TRACT "A", PADDOCK ESTATES, AS FILED IN BOOK "C" OF PLATS AT PAGE 51, ACCORDING TO THE RECORDS OF THE COUNTY CLERK AND RECORDER OF PARK COUNTY, STATE OF WYOMING, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 52 NORTH, RANGE 101 WEST, OF THE 6TH PRINCIPLE MERIDIAN, PARK COUNTY, WYOMING, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID TRACT "A" MARKED BY A ONE-HALF INCH DIAMETER IRON PIPE; THENCE, ALONG THE WEST BOUNDARY OF SAID TRACT "A",

N.00°09'44"E., 582.92 FEET (BASIS OF BEARINGS) TO THE POINT OF BEGINNING; THENCE, CONTINUING ALONG SAID WEST BOUNDARY,

N.00°09'44"E., 305.57 FEET TO THE BEGINNING OF A NON-TANGENT CURVE ON THE SOUTH RIGHT-OF-WAY OF U.S. HIGHWAY 14-16-20, BEING MARKED BY A BRASS CAP MONUMENT; THENCE, ALONG SAID SOUTH RIGHT-OF-WAY THE FOLLOWING FOUR COURSE:

SOUTHEASTERLY ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 11,394.16 FEET, AN ARC LENGTH OF 229.90 FEET, THROUGH A CENTRAL ANGLE OF 01°09'22", OF WHICH THE LONG CHORD BEARS S.89°21'17"E., 229.90 FEET TO A POINT OF TANGENCY; THENCE,

S.88°46'36"E., 69.12 FEET; THENCE,

N.01°13'24"E., 5.00 FEET; THENCE,

S.88°46'36"E., 230.93 FEET TO THE INTERSECTION WITH THE CENTERLINE OF A DRAINAGE DITCH; THENCE, ALONG THE CENTERLINE OF SAID DRAINAGE DITCH THE FOLLOWING FOURTEEN (14) COURSES:

S.44°20'41"W., 27.13 FEET; THENCE,
S.50°29'26"W., 31.82 FEET TO THE BEGINNING OF A TANGENT CURVE; THENCE,

SOUTHWESTERLY ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 40.00 FEET, AN ARC LENGTH OF 24.45 FEET, THROUGH A CENTRAL ANGLE OF 35°01'18", OF WHICH THE LONG CHORD BEARS S.68°00'05"W., 24.07 FEET TO A POINT OF TANGENCY; THENCE,

S.85°30'44"W., 19.03 FEET TO THE BEGINNING OF A TANGENT CURVE; THENCE,
SOUTHWESTERLY ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 70.00 FEET, AN ARC LENGTH OF 47.93 FEET, THROUGH A CENTRAL ANGLE OF 39°13'58", OF WHICH THE LONG CHORD BEARS S.65°53'45"W., 47.00 FEET TO A POINT OF TANGENCY; THENCE,

S.46°16'46"W., 30.26 FEET TO THE BEGINNING OF A TANGENT CURVE; THENCE,

SOUTHWESTERLY ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 115.00 FEET, AN ARC LENGTH OF 43.17 FEET, THROUGH A CENTRAL ANGLE OF 21°30'36", OF WHICH THE LONG CHORD BEARS S.57°02'04"W., 42.92 FEET TO A POINT OF TANGENCY; THENCE,

S.67°47'22"W., 41.40 FEET; THENCE,

S.76°37'08"W., 20.98 FEET; THENCE,

S.67°58'44"W., 27.73 FEET TO THE BEGINNING OF A TANGENT CURVE; THENCE,

SOUTHWESTERLY ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 590.00 FEET, AN ARC LENGTH OF 177.04 FEET, THROUGH A CENTRAL ANGLE OF 17°11'35", OF WHICH THE LONG CHORD BEARS S.59°22'57"W., 176.38 FEET TO A POINT OF TANGENCY; THENCE,

S.50°47'09"W., 24.81 FEET TO THE BEGINNING OF A TANGENT CURVE; THENCE,

SOUTHWESTERLY ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 301.50 FEET, AN ARC LENGTH OF 80.11 FEET, THROUGH A CENTRAL ANGLE OF 15°13'25", OF WHICH THE LONG CHORD BEARS S.58°23'52"W., 79.87 FEET TO A POINT OF TANGENCY; THENCE,

S.66°00'35"W., 23.82 FEET TO THE POINT OF BEGINNING.

THE ABOVE-DESCRIBED PARCEL CONTAINS 1.849 ACRES, MORE OR LESS.

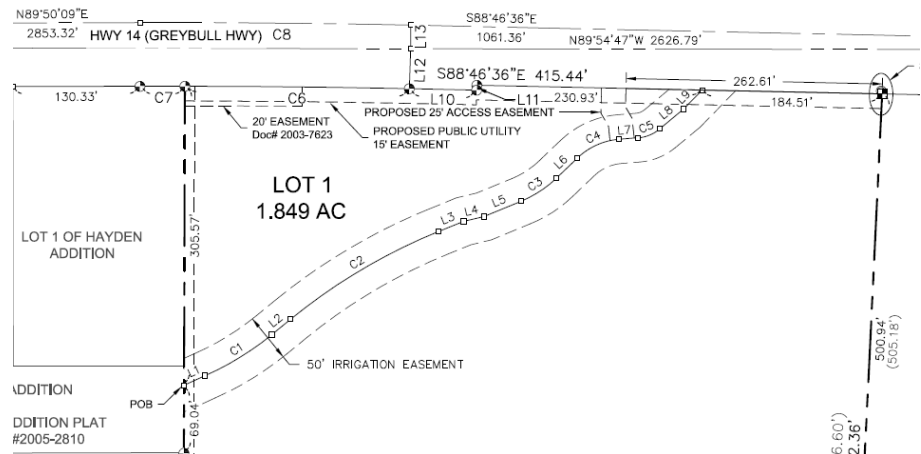


EXHIBIT B

DEVELOPMENT AGREEMENT WITH THE CITY OF CODY

The City of Cody, acting through its duly elected governing body, the City of Cody City Council, DOES HEREBY AGREE AND COVENANT that the property described below, by City of Cody legislative action, shall be designated Medium-High Density Residential (R-3) Zoning.

Timothy F Leonhardt and Gina L. Leonhart, as owners of the following described property:

A PORTION OF A TRACT 'A', PADDOCK ESTATES, AS FILED IN BOOK 'C' OF PLATS AT PAGE 51, ACCORDING TO THE RECORDS OF THE COUNTY CLERK AND RECORDER OF PARK COUNTY, STATE OF WYOMING, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 52 NORTH, RANGE 101 WEST, OF THE 6TH PRINCIPLE MERIDIAN, PARK COUNTY, WYOMING, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID TRACT 'A' MARKED BY A ONE-HALF INCH DIAMETER IRON PIPE; THENCE, ALONG THE WEST BOUNDARY OF SAID TRACT 'A',

N.00°09'44"E., 582.92 FEET (BASIS OF BEARINGS) TO THE POINT OF BEGINNING; THENCE, CONTINUING ALONG SAID WEST BOUNDARY,

N.00°09'44"E., 305.57 FEET TO THE BEGINNING OF A NON-TANGENT CURVE ON THE SOUTH RIGHT-OF-WAY OF U.S. HIGHWAY 14-16-20, BEING MARKED BY A BRASS CAP MONUMENT; THENCE, ALONG SAID SOUTH RIGHT-OF-WAY THE FOLLOWING FOUR COURSE:

SOUTHEASTERLY ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 11,394.16 FEET, AN ARC LENGTH OF 229.90 FEET, THROUGH A CENTRAL ANGLE OF 01°09'22", OF WHICH THE LONG CHORD BEARS S.89°21'17"E., 229.90 FEET TO A POINT OF TANGENCY; THENCE,

S.88°46'36"E., 69.12 FEET; THENCE,

N.01°13'24"E., 5.00 FEET; THENCE,

S.88°46'36"E., 230.93 FEET TO THE INTERSECTION WITH THE CENTERLINE OF A DRAINAGE DITCH; THENCE, ALONG THE CENTERLINE OF SAID DRAINAGE DITCH THE FOLLOWING FOURTEEN (14) COURSES:

S.44°20'41"W., 27.13 FEET; THENCE,

S.50°29'26"W., 31.82 FEET TO THE BEGINNING OF A TANGENT CURVE; THENCE,

SOUTHWESTERLY ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 40.00 FEET, AN ARC LENGTH OF 24.45 FEET, THROUGH A CENTRAL ANGLE OF 35°01'18", OF WHICH THE LONG CHORD BEARS S.68°00'05"W., 24.07 FEET TO A POINT OF TANGENCY; THENCE,

S.85°30'44"W., 19.03 FEET TO THE BEGINNING OF A TANGENT CURVE; THENCE, SOUTHWESTERLY ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 70.00 FEET, AN ARC LENGTH OF 47.93 FEET, THROUGH A CENTRAL ANGLE OF 39°13'58", OF WHICH THE LONG CHORD BEARS S.65°53'45"W., 47.00 FEET TO A POINT OF TANGENCY; THENCE,

S.46°16'46"W., 30.26 FEET TO THE BEGINNING OF A TANGENT CURVE; THENCE,

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S.67°47'22"W., 41.40 FEET; THENCE,

S.76°37'08"W., 20.98 FEET; THENCE,

S.67°58'44"W., 27.73 FEET TO THE BEGINNING OF A TANGENT CURVE; THENCE,

SOUTHWESTERLY ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 590.00 FEET, AN ARC LENGTH OF 177.04 FEET, THROUGH A CENTRAL ANGLE OF 17°11'35", OF WHICH THE LONG CHORD BEARS S.59°22'57"W., 176.38 FEET TO A POINT OF TANGENCY; THENCE,

S.50°47'09"W., 24.81 FEET TO THE BEGINNING OF A TANGENT CURVE; THENCE,

SOUTHWESTERLY ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 301.50 FEET, AN ARC LENGTH OF 80.11 FEET, THROUGH A CENTRAL ANGLE OF 15°13'25", OF WHICH THE LONG CHORD BEARS S.58°23'52"W., 79.87 FEET TO A POINT OF TANGENCY; THENCE,

S.66°00'35"W., 23.82 FEET TO THE POINT OF BEGINNING.

THE ABOVE-DESCRIBED PARCEL CONTAINS 1.849 ACRES, MORE OR LESS.

(Known as a portion of 14 Jamieson Circle, Cody, Wyoming 82414 or "the property");

DOES HEREBY AGREE AND COVENANT that as a condition of the rezoning of the above-described property to Medium-High Density Residential (R-3), they set forth the following land use restriction to run with the land:

"The maximum density of development within the property shall be limited to a total of six dwelling units, which may be comprised of six single-family dwelling units, or three two-family dwelling units, or two multi-family dwelling units, or a combination of single, two-

family, townhouse, or multi-family dwelling units as authorized by the City of Cody Code Title 10, Chapter 7, Residential Zoning District Land Uses. For purposes of this agreement, both principal and accessory dwelling units count towards the six dwelling units."

This agreement shall remain in effect and be binding on all heirs and assignees in interest until such time in the future that the City of Cody rezones the property to a zoning district other than Medium-Density Residential (R-3), or otherwise takes lawful action to remove this agreement. This development agreement does not preclude rezoning the property to a different zoning district in the future.

Timothy F. Leonhardt and Gina L. Leonhardt, and the City of Cody are the parties to this agreement, and are responsible to ensure compliance with the provisions herein.

This agreement voluntarily offered and entered into this ____ day of _____, 2022 by Timothy F. Leonhardt and Gina L. Leonhardt.

Timothy F. Leonhardt and Gina L. Leonhardt

STATE OF WYOMING)
) ss.
COUNTY OF PARK)

On this day personally appeared before me Timothy F. Leonhardt and Gina L. Leonhardt, to me known as the individual(s) described herein and who executed the within and foregoing instrument and acknowledged that they signed the same as their free and voluntary act and deed, for the uses and purposes therein stated.

Given under my hand and official seal this ____ day of _____, 2022.

Notary Public and for the State of Wyoming.
My Commission Expires _____

Accepted by the City of Cody, this ____ day of _____, 2022.

Matt Hall, Mayor

STATE OF WYOMING)
) ss.
COUNTY OF PARK)

On this day personally appeared before me Matt Hall, to me known as the individual(s) described herein and who executed the within and foregoing instrument for the uses and purposes therein stated.

Given under my hand and official seal this ____ day of _____, 2022.

City Clerk and Notary Public and for the State of Wyoming.
My Commission Expires _____