

CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
TUESDAY August 9, 2022
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

1. Call meeting to order
2. Roll Call, excused members
3. Pledge of Allegiance
4. Approval of Agenda for the August 9, 2022 meeting.
5. Approval of Minutes from the July 12, 2022 regular meeting.
6. New Business:
 - A. Preliminary Plat for the Schoonover Subdivision – A 5-Lot Subdivision, located at 233 Robert Street.
 - B. Preliminary and Final Plat for the Benny's Place Minor Subdivision #2 – A 2-Lot Subdivision, located at 4 Arrow Avenue.
 - C. Site Plan Review: Sweet's Soda Shoppe located at 1831 Sheridan Avenue.
7. P & Z Board Matters (announcements, comments, etc.)
8. Council Update
9. Staff Items
10. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

**City of Cody
Planning, Zoning, and Adjustment
Board Meeting July 12, 2022**

A meeting of the City of Cody Planning, Zoning and Adjustment Board was held in the Council Chambers of City Hall in Cody, Wyoming on Tuesday, July 12, 2022 at 12:00 pm.

Carson Rowley called the meeting to order at 12:00 pm, followed by the pledge of allegiance.

Present: Scott Richard; Carson Rowley; Ian Morrison; Andrew Murray; Cayde O'Brien; Karinthia Herweyer; City Attorney Sandee Kitchen; City Planner Todd Stowell; Administrative Coordinator Bernie Butler

Absent: Matt Moss, Council Liaison Andy Quick

Ian Morrison moved to approve the agenda for July 12, 2022, seconded by Cayde O'Brien. Vote on the motion was unanimous, motion passed.

Scott Richard moved to approve the minutes from the June 28, 2022 regular meeting, seconded by Ian Morrison. Vote on the motion was unanimous, motion passed.

Scott Richard made a motion to remove from the table, the West Avenue Subdivision Final Plat and Construction Plans. Ian Morrison seconded the motion. Vote on the motion was unanimous.

Todd Stowell reviewed a Downtown Architectural District for Silver Sage Insurance, located at 1192 Sheridan Avenue. The proposed sign will be an electric message board sign and an interior illuminated wall sign on the front of the building.

Scott Richard made a motion, seconded by Cayde O'Brien to approve the sign for Silver Sage Insurance, with recommendations 1-2 in the staff report. Vote on the motion was unanimous, motion passed.

The Cody Recreation Foundation and the Cody Parks and Recreation Department have submitted a request for a 10' tall chain-link fence around the perimeter of the proposed pickleball courts. The courts will be located on City property south of the Recreation Center at 1402 Heart Mountain Street. Fences exceeding 7 feet tall require a fence height waiver.

New information was given to the City Planner before the meeting that was not included in the staff report. The applicant is requesting a wind screen on all four sides of the courts. The wind screen will be similar to the one at the middle school tennis courts.

Project Architect Kayne Morris addressed the Board regarding the wind screen. He said it would be semi-transparent on all four sides of the courts. He provided a written copy of the benefits of the windscreens from the Pickleball Association.

Scott Richard made a motion, seconded by Ian Morris to approve the height waiver for a 10' chain-link fence around the perimeter of the pickleball courts, and allow a semi-transparent wind screen on all four sides. Vote on the motion was unanimous, motion passed.

Staff reviewed the final plat and construction plans for the West Avenue Duplexes Subdivision. This will be an 8-lot subdivision, with seven lots identified as duplexes, and lot 1 will be a single-family lot. Todd Stowell reviewed the subdivision regulations and gave the status on the preliminary plat conditions. Several items were identified in the staff report that will need to be completed before the final plat is signed by the City of Cody Mayor and building permits are issued.

Scott Richard made a motion, seconded Ian Morris to recommend to City Council the approval of the West Avenue Duplexes Subdivision final plat with conditions 1-12 in the staff report. Vote on the motion was unanimous, motion passed.

A public hearing opened at 12:31 p.m. for a special exemption to reduce the side setback requirement from Bass Avenue for 3 lots. Applicant Tony Higbie of Pioneer Builders addressed the Board on why he was requesting to reduce the side setback from 15 feet to 14 feet for these lots. With no additional comments from the public the hearing was closed at 12:36 p.m.

Todd Stowell reviewed the project description and background of the special exemption request. The lots are located at 901 and 902 Raccoon Court, and 902 Shadow Street. The property is located in the R-2 residential zoning district, which requires a 15-foot side street setback, measured from the property line/right-of-way line. The property line is at the back of the sidewalk along Bass Avenue.

Cayde O'Brien made a motion, seconded by Ian Morris to approve the special exemption for the reduced side setback requirements, with finding 1-4 in the staff report. Also approve the setback reduction from 15 feet to 14 feet from the Bass Avenue right-of-way for construction of the proposed houses at 901 and 902 Raccoon Court and 902 Shadow Street. Vote on the motion was unanimous, motion passed.

Board member Ian Morris recused himself for a conflict of interest on the Sunridge Subdivision.

Board member Karinthia Herweyer excused herself from the meeting at 12:48 for a prior commitment.

Staff reviewed the preliminary plat of the 5-lot Sunridge Subdivision. The property is zoned r-2 and is currently vacant. A conceptual plan was previously review by the Board. That review concluded that a street consisting of a 20-foot-wide strip of asphalt, plus curb and gutter on both sides and a 4-foot sidewalk on one side would likely be sufficient, provided no parking occurred on the street.

The lots are planned for single-family dwellings, with the owners constructing their home on lot 2. Per the zoning regulations lots 2 and 3 would allow two-family dwellings, and single-family dwellings with accessory units on lots 1, 4, and 5.

Subdivision ordinance requirements with staff comments were reviewed. Variance from the standard were noted in the staff report.

Scott Richard made a motion, seconded by Cayde O'Brien to recommend to City Council the approval of the Sunridge Subdivision preliminary plat with variances 1-3, conditions 1-4 and 6-9 in the staff report. Condition 5, "If the public use area cash-in-lieu requirement is not waived, payment of \$7,819 to the City is required with the final plat (before Mayor signs)" will be decided by City Council. Vote on the motion was unanimous, motion passed.

The regular scheduled meeting for July 26th will be postponed until August 9th.

Ian Morrison made a motion, seconded by Andrew Murray to adjourn the meeting. Vote on the motion was unanimous. The meeting was adjourned at 1:11 pm.

Bernie Butler

Administrative Coordinator

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	AUGUST 9, 2022	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	
SUBJECT:	PRELIMINARY PLAT OF THE SCHOONOVER SUBDIVISION. SUB 2021-07	RECOMMENDATION TO COUNCIL:	X
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT OVERVIEW

Kira Schoonover has submitted a preliminary plat application for a 5-lot subdivision. The property is zoned R-3 and is currently vacant.

The preliminary plat is attached for your review. Lots 1, 2, and 3 are planned for single-family dwellings, and Lots 4 and 5 are planned for two-family dwellings. Lots 1 and 3 are large enough to qualify for accessory dwellings as well.



SUBDIVISION REGULATIONS

The subdivision ordinance requirements are as follows. Staff comments follow each requirement. When a variance from the standard is involved, it is noted.

11-4-2: STREETS, ALLEYS AND EASEMENTS:

A. Alignment: All proposed streets, alleys and easements shall align horizontally and vertically with existing streets, alleys and easements adjacent to or lying near the subdivision.

Comment: Met. The access for Lots 1, 2 and 3 is along the south boundary of the property, and is currently a gravel lane about 18 feet wide. The alignment is fine.

B. Conform to Master Street Plan: All streets shall conform to the city master street plan for size and approximate alignment.

Comment: This requirement requires the existing gravel lane to be upgraded. The standard outlined in the street master plan would be a 24-foot-wide paved street, with

curb, gutter, sidewalk, and streetlights, and which is developed and maintained as a public street. Planning and Public Works staff believe that allowing the road to remain a private street would be a reasonable request as the street is not likely to be extended as a through street, will only serve the properties it presently serves, and that requiring only one of the four properties that use the street to be responsible for all improvements, while technically required, is not balanced financially. Planning staff proposes that a 20-foot-wide paved lane be considered adequate for the present subdivision. If the other properties using the street subdivide, they could be required to widen the street, further improve the turnaround, or add curb and gutter or other improvements as deemed appropriate at that time. The 20-foot width is the minimum required for a fire lane. There is an existing 40-foot-wide access easement to accommodate the street. The alignment within that easement can be determined when developing the street and utility construction plans.

There are no streets shown on the street master plan as passing through this property.

C. Jogs Prohibited: Street jogs shall be prohibited unless, because of very unusual conditions, the commission and council determine that the offset is justified.

Comment: There are no internal street jogs.

D. Topography: Streets shall have a logical relationship to the topography.

Comment: The street location seems to be the most logical, given the lot layout.

E. Intersections: Intersections shall be at or near right angles whenever possible.

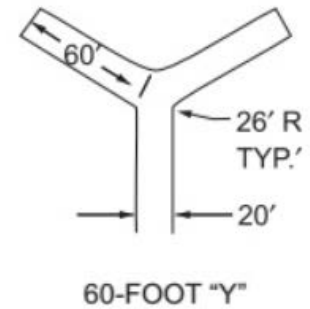
Comment: Met.

F. Local Streets: Local streets will be designed to discourage through traffic.

Comment: Met.

G. Cul-De-Sacs: Cul-de-sacs shall be permitted, providing they are no longer than five hundred feet (500'), including the area at the end of said cul-de-sac; and further providing, that the property line to property line diameter of the cul-de-sac be at least one hundred feet (100'). Design specifications for curb, gutter, sidewalk and distance from property line to sidewalk shall be in accordance with the typical section of a "residential street", as defined by the master street plan. Surface drainage shall be towards the intersecting streets whenever possible, but may be out of the cul-de-sac through a drainage easement as a last alternative.

Comment: The street is a dead end, with a length of about 287 feet. While a turnaround for emergency access and garbage collection is needed, it is proposed that a different configuration be used. Specifically, the fire code has a "Y" turnaround option that closely matches the existing driveway layouts. So long as the driveways provide the minimum 26' radius between each leg, they will suffice for the necessary uses.



Being that the turnaround is located on other properties beyond the end of the subdivision, the turnaround need not be paved as part of this subdivision.

H. Dead End Streets, Alleys: Dead end streets and alleys (with the exception of cul-de-sacs) shall be prohibited, unless they are designed to connect with future streets or alleys on adjacent lands that have not been platted...

Comment: Met, as cul-de-sacs are the exception.

I. Half Streets: Half streets will be prohibited...

Comment: Met.

J. Reverse Curves: Reverse curves on...residential and marginal streets and alleys shall have at least one hundred feet (100') of tangent length between reverse curves

Comment: No curves proposed.

K. Widths and Grades: Street, alley and easement/right of way widths and grades shall be as follows:

	<i>Minimum Right Of Way Width</i>	<i>Minimum Grade</i>	<i>Maximum Grade</i>
<i>Arterial street</i>	<i>100 feet</i>	<i>0.3 percent</i>	<i>7.0 percent</i>
<i>Collector street</i>	<i>80 feet</i>	<i>0.3 percent</i>	<i>7.0 percent</i>
<i>Residential street</i>	<i>60 feet</i>	<i>0.3 percent</i>	<i>7.0 percent</i>
<i>Marginal street</i>	<i>46 feet</i>	<i>0.3 percent</i>	<i>10.0 percent</i>

Comment: With past subdivisions along Robert Street, it has been determined that the existing 60-foot right-of-way is adequate, even though 80 feet is specified. A variance to allow 60 feet is justified.

The private street along the south side of the subdivision has a 40-foot-wide private easement, which is adequate to accommodate the private street and planned utilities.

L. Vertical Curve Length: The minimum length of vertical curves shall be as follows... Arterial, collector and residential streets: 15 times the algebraic difference in the rate of grade.

Comment: Can be easily met, and will be verified on construction plans.

M. Visibility: Clear visibility, measured along the centerline of the street shall be as follows...Residential street 200 feet

Comment: Met.

N. Curvature Radius: The minimum radius of curvature on the centerline of a street shall be as follows...Residential street 200 feet

Comment: Met—no curves.

O. Streets with Interior Angles: ...For street intersections with an interior angle greater than seventy degrees (70°), the curb shall be rounded by a radius of nine and one-half feet (9½').

Comment: This standard is based on a full-width street with curb and gutter. As Robert Street does not have curb and gutter in this section, and no curb and gutter are proposed on the interior street, a radius of 20 feet should be provided for the asphalt paving.

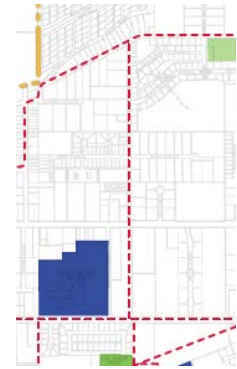
P. Alleys: Alleys shall be required in all subdivisions with the minimum width being twenty feet (20'), unless extreme conditions preclude the feasibility of alleys... Alleys shall be constructed with a minimum of six inches (6") of crushed aggregate base course for the finished surface. The specification for the gradation of the crushed aggregate base course may be obtained from the city engineer.

Comment: A variance to the alley requirement is appropriate, as there are no alleys to tie into.

Q. Curb, Gutter, Sidewalk, Paved Streets: Curb, gutter, sidewalk and paved streets shall be required in all proposed subdivisions unless waived in accordance with criteria set out in subsection 11-5-2B of this title by the planning, zoning and adjustment board, and the city council. All waivers of curb, gutter and sidewalks shall require acknowledgment by the developer on the final plat that future improvement districts for the development of curb, gutter and sidewalks shall be supported by future owners of the lots and be so noted on the final plat. The developer shall be responsible for demonstrating to the city that the grades and location of the proposed improvements shall be compatible with all future development in the area.

Comment: See "B" above for the proposed street design—a 20-foot-wide paved lane without curb, gutter, sidewalk.

Rather than require curb, gutter, and sidewalk along the Robert Street frontage, the City Council has recently determined that installation of a detached pathway is an alternative that meets the intent of the requirement and can occur without curb and gutter being in place. The City Council has required this of subdivisions that do not have frontage with curb and gutter, when there is a pathway identified on the pathway master plan. That is the case here. The developer would be responsible for its construction, or alternatively can contribute the cost of construction to the City and the City will include the construction in a larger project. If the developer will perform the construction, plans will need to be developed and approved by the City. The alignment will put the pathway between the power lines and the property line. As the subdivision ordinance specifies that the improvements are the developer's responsibility, construction or payment should be required before the final plat is recorded. (Note: If Public Works' plans go as anticipated, the City could have a pathway project constructed along the west side of Robert Street in about three years. Funding for the this "larger project" is not yet secured.)



R. Street Cross Section: The minimum typical street cross section for each type of street shall be as shown on the master street plan. Details of the city standards for typical paving, curb, gutter, sidewalk, alley aprons and valley gutter sections may be obtained from the city engineer.

Comment: A variance is requested to the street width and to waive curb, gutter, and sidewalk—see "B" above. The depth of the street materials will need to meet standards. Coordinate with Public Works.

S. Valley Gutters: The use of valley gutters in areas where storm sewer facilities exist or are proposed will be discouraged.

Comment: None proposed.

T. Drainage: The area to be subdivided shall be designed to provide proper and sufficient drainage. Runoff and storm sewer systems shall be designed to adequately drain the subdivision and adjacent area that will drain into the subdivision. All stormwater systems shall be designed to achieve zero increase in runoff and shall be in compliance with the city stormwater management policy, as amended. They shall be designed and constructed to allow runoff and stormwater to flow by gravity from the subdivision to an adequate outlet. When an existing storm sewer trunk line is available, the proposed system shall be designed to connect to it. When an existing storm sewer trunk line is not available, a drainage plan must be developed that is acceptable to the city. Minor subdivisions shall be exempt from this requirement.

Comment: Not met. There are no storm sewer lines in the area, so on-site retention will be needed. The engineer will need to design a storm water system to accommodate runoff from the private street. Various options exist. One easy method would be to utilize the concept from the infill subdivision standards to slope the street all one direction and install a rock infiltration trench just off the lower edge of the street.

(Note: The subdivision is labeled a minor subdivision. However, technically this is not a minor subdivision because it involves the development of a new street and extension of public improvements. To quote the definition in the code, "MINOR SUBDIVISION: Any subdivision that the planning, zoning and adjustment board has determined shall facilitate isolated in-fill development within municipal boundaries and...creates five (5) or fewer lots without requiring the creation of any new streets or the extension of water and sewer utilities or any new public improvements." As such, it is not exempt from the storm water requirement. A drainage plan, calculations, and facility will need to be provided.)

U. Lot Requirements: All lots within a proposed subdivision will meet the following requirements:

1. Lots shall be sized to meet the requirements of the appropriate zoning.

Comment: All lots meet minimum size and dimensional requirements for the R-3 zone.

2. Every lot shall abut upon or have access to an approved street or an approved cul-de-sac.

Comment: Met.

3. Side lot lines shall be at approximate right angles to the street line on which the lot faces.

Comment: Met.

4. Strip lots established with the intent of restricting access to streets or alleys will be prohibited.

Comment: Met.

V. Blocks: Blocks shall be at least three hundred feet (300') long, normally, not to exceed six hundred sixty feet (660') long. All blocks shall normally be of sufficient width to allow for two (2) tiers of lots of approximately equal width and an alley.

Comment: Block length along Robert Street is not met, and cannot be met by this subdivision alone. A variance to the requirement is recommended.

Section 11-5-1, DEVELOPMENT AND IMPROVEMENT also includes standards for construction. Most of those items are simply verified in the construction plans and/or

as part of the final plat review. Those that warrant discussion at this point are noted below.

C. Curbs, Gutters And Sidewalks: Curbs, gutters, and sidewalks shall be constructed along both sides of any proposed streets. ...

Comment: Again, a variance to allow a 20-foot paved lane is requested.

D. Street Design, Construction: Streets shall be designed and constructed according to accepted engineering practices and construction standards with the minimum cross section being the city standard.

Comment: Again, the street width is requested to be reduced. However, depth of material and other design details will be met.

E. Street Name Signs: Street name signs shall be installed at all intersections.

Comment: A private street name sign will be needed as well as a stop sign and "No Outlet" sign. The sign plan should be incorporated into the construction plans.

It is also noted that with the establishment of the private street, a street name is needed and other properties along the street will have their addresses changed. The subdivider will need to submit three proposed street names for review by the street committee. The City and post office will work with the other property owners on changing their addresses.

F. Sanitary Sewer: Sanitary sewer shall be constructed according to city approved specifications and city construction standards, and shall connect to the city system. It shall also be approved by all appropriate state and/or federal agencies. Each lot within the proposed subdivision shall be connected to a minimum eight-inch (8") diameter sewer main by a minimum four-inch (4") diameter sewer service line. The service lines shall be extended from the sewer main to the property line according to city standards. The use of individual septic systems will not be permitted when a sanitary sewer main is available...

Comment: Sanitary sewer is proposed to be extended along the south end of the subdivision to provide City sewer to Lots 1 and 2. The line will extend to the end of the pavement, so that it is accessible to the properties beyond, without having to tear up the street. Lot 3 could connect to this new sewer line, or the line in Robert Street (connecting to the new line would likely be less expensive). Lots 4 and 5 will connect individually to the sewer line in Robert Street.

G. Storm Sewer: Storm sewer shall be constructed according to city approved specifications, separate from the sanitary sewer. When reasonably possible the storm sewer shall be connected to the existing storm sewer system.

Comment: As noted above, an on-site storm system is needed.

H. Water Mains: All water mains will be designed and constructed according to city approved specifications and the city standards. The system will connect each lot within the proposed subdivision to a minimum six-inch (6") diameter main by the use of a minimum three-fourths inch (3/4") copper service line. The service lines shall be extended from the main to the property line according to city standards. These mains will be connected to the city system. All water mains will be designed in accordance with the city plan, state and federal regulations, and designed to provide adequate flow and pressure under all conditions, including major fire conditions... It will be the developer's responsibility to ensure that the water piping system for the proposed subdivision is connected to the city system. The development of private or community wells for potable water will not be allowed within the corporate limits of the city.

Comment: Lots 4 and 5 will individually connect to the water main in Robert Street. The developer of those lots should determine if 3/4" services are adequate for those lots, or if 1" services are needed. (Depends on # of plumbing fixture units.)

Lots 1, 2 and 3 are also proposed to be served with individual private water services from the water main in Robert Street. This will result in a number of "spaghetti lines", which normally is discouraged. In this case, all other lots off the southern lane have individual private water services and the benefit received by requiring a water main does not seem to justify the cost thereof. Also, if other properties develop significantly, that is a cost that they can bear, as this developer is providing the road and sewer main costs.

The curb stops for each lot will be at the edge of the Robert Street right-of-way. City maintenance responsibility ends at the curb stop, with each homeowner responsible for their individual service from the curb stop to the house.

I. Fire Hydrants: Fire hydrants shall be installed at intervals not to exceed five hundred feet (500') between hydrants and provided with standard hose connections as specified by the fire department.

Comment: The fire hydrant across Robert Street meets the hydrant requirement.

J. Open Drains, Irrigation Ditches: All open drains and irrigation ditches shall be buried or, if possible, eliminated.

Comment: The irrigation ditch along the front of the property is subject to this requirement. The preliminary plat shows a 10" pipe being provided for the ditch. The ditch is also appropriately shifted out from under the alignment of the pathway. An 8- or 10-foot-wide irrigation easement should be provided for the pipe.

In addition, the pipe will need to be shifted to the new alignment before it gets to the crossing under the new street, not after (shift south of the new street, not north).

K. Utilities: All utilities (electrical service, natural gas, telephone, cable TV, etc.) shall be installed underground, whenever possible, in the streets, alleys or utility easements shown on the final plat. All buried utilities will be placed before the finished surface is placed on the streets or alleys. Written agreements between the subdivider and each utility company, copies of which will be presented to the city with the construction specifications, shall be drawn up stating who will install the utilities and how the costs for their installation shall be covered... It will be the developer's responsibility to ensure that all utilities necessary or reasonably expected are placed within the proposed subdivision.

Comment: The general layout of utilities shown on the preliminary plat appears to work. Third-party utility providers (Black Hills Energy, Spectrum, and TCT) will need to sign off on the utility plans as part of the final plat process.

Construction details of the sewer main will be submitted and reviewed with the final plat application.

The layout of the electrical system is acceptable. In addition though, the plans should note that the pole in the middle of the proposed access for Lots 4 and 5 will need to be relocated. It will likely be moved to the north side of the access. The electric division will do the pole relocation work and the developer is responsible for the costs.

Also, due to the delay in getting electrical transformers and other components, the electrical subdivision system may not be able to be function for some time. The existing electrical service at the southwest corner of the property will likely need to serve as temporary electrical for the applicant's house that is proposed on Lot 1 until the subdivision electrical system is functional. Building permits for the other lots could be delayed if electrical components are not available.

L. Other Improvements: Any other improvements, such as bridges, culverts, etc., not specifically mentioned herein but found necessary by the city due to conditions found on the site shall be constructed.

Comment: The previous note about shifting the irrigation pipe before it reaches the south edge of the new street will necessitate a new culvert under the new street.

M. Street Lighting: Street lighting shall be installed according to the standards and requirements established by the city electrical commissioner, the cost of which will be borne by the subdivider.

Comment: N/A. Streetlights are only required on public streets.

N. Public Use Areas: There shall be conveyed to the city an area or areas of land or the cash equivalent thereof, on the basis of one acre per fifty (50) prospective dwelling units, to provide for parks, fire stations, recreational areas and other public uses. This requirement shall be in addition to lands dedicated for streets and alleys. ... Minor

subdivisions shall be exempt from this requirement. The dedication of land or cash in lieu of land shall be at the sole discretion of the city council, with recommendation from the planning and zoning board and the parks and recreation department. If subsequent rezoning or resubdivision would result in a higher number of prospective dwelling units, additional land or cash equivalent shall be conveyed to the city...

Comment: Not applicable at this time. (In practice, 5 lots or less are exempt, regardless of whether the subdivision is technically "minor".)

OTHER:

- 1) A maintenance agreement containing adequate provisions for the perpetual care and maintenance of the private street and storm water detention facilities will be needed. The agreement will need to include language that the agreement cannot be rescinded without the approval of the City.
- 2) The parking standards will require the approach serving Lots 4 and 5 to be paved for at least 25 feet off of Robert Street, as part of the building construction. The developer may want to coordinate that work to occur with the construction of the street along the south end of the subdivision.
- 3) Approval of the irrigation distribution plan and plans for piping of the ditch will need to be obtained from Cody Canal and any private ditch company that may have jurisdiction. The piping needs to extend to the north property line.
- 4) On the final plat, include a slope easement for the pathway shoulder by adding the following or similar language to the final plat, "Slope easement granted along the east side of Lots 3, 4, and 5 as necessary to accommodate a 4:1 slope for a pedestrian pathway shoulder."
- 5) Payment of the water tap fees and the electrical estimate are normally addressed with the final plat. Due to potentially significant delays in receiving electrical components, it is recommended that the electrical estimate be finalized and paid as soon as possible after City Council grants preliminary plat approval, so that materials can be ordered. The electrical estimate will also include the costs of relocating the power pole on Robert Street.
- 6) Garbage collection is currently with dumpsters along Robert Street. The sanitation division is considering providing roll-out service to the lots, and the other lots along the interior street. In order to do so, the turnaround at the west end of the street will need some minor improvement. Coordinate the garbage collection plan with the City before final plat approval.

Miscellaneous:

For purposes of providing direction on the construction plans and preparing the final plat, the following comments are provided.

1. The applicant will need to contact the post office for the mail box location(s). City preference is that the boxes be placed along the interior street. The final location must be authorized by both the Post Office and City.
2. Primary vehicle access for Lot 3 will be limited to the interior street. Include a note on the final plat to notify the lot owner of the restriction.
3. The building locations and parking facilities on Lots 4 and 5 must be configured so that vehicles do not back out onto Robert Street, but leave the property in a forward motion. The setback from Robert Street will therefore need to be much more than the zoning minimum. Include a note on the final plat about this requirement. The configuration shown on the preliminary plat is adequate to meet this requirement.
4. Include lot and street survey monumentation on the final plat, per the requirements of the subdivision ordinance.
5. Coordinate the street design with the pathway design.
6. List the variances granted on the final plat.
7. Include all owners in the Certificate of Owner—missing Noreen.

VARIANCES:

The variances noted are to be reviewed under the following standard of 11-5-2(B):

If during the approval process of a proposed subdivision it can be shown that strict compliance with the requirements of this title will result in extraordinary hardship to the subdivider due to unusual topography or other similar land conditions, or where the subdivider can show that variances will make a greater contribution to the intent and purpose of this title, the commission and council may, upon written request and proper justification, grant a variance to this title so that substantial justice may be done and the public interest secured; provided, that any such variance will not have the effect of nullifying the intent and purpose of this title.

Planning staff would recommend approval of the variances noted in the staff report, as this is similar to an infill subdivision and does not necessitate application of all standard requirements in order to provide a suitable result. As many of the subdivision improvements benefit other properties without their participation, leniency is proposed in those areas where staff believes it can be provided. The variances thereby would "make a greater contribution to the intent and purpose of this title" than if the requirements were imposed in full.

POTENTIAL MOTION:

Recommend that the City Council grant the variances listed and approve the preliminary plat for the proposed subdivision, subject to the listed conditions:

Subdivision Variances:

1. To waive the alley requirement.
2. To allow a private street of the design discussed (20-foot-wide paved lane with drainage provisions and radii at the connection to Robert Street)—no curb, gutter, sidewalk, or streetlights.
3. To the requirement to provide additional right-of-way for Robert Street.
4. To the block length requirement.

Conditions:

1. Ensure that there is a turnaround at the west end of the paved lane that meets fire code standards. A formal easement is not necessary.
2. Provide a drainage plan for the street, which is to be reviewed and approved as part of the final plat process.
3. The street must include a private street name sign, stop sign, and "No Outlet" sign.
4. A maintenance agreement or homeowner's association must be established for maintenance of the private street and associated stormwater infiltration facilities. Submit the proposed document(s) with the final plat. Also include an explanatory note referencing such on the final plat. The agreement will need to include language that the agreement cannot be rescinded without the approval of the City.
5. Plans for the sewer main are to be reviewed and approved by the City and WY DEQ. The City will accept ownership and maintenance of the sewer main once it is constructed to City standards.
6. Approval of the irrigation distribution plan and plans for piping of the ditch along the full property frontage will need to be obtained from Cody Canal and any private ditch company that may have jurisdiction. Following the flow of the water in a north direction, the piping needs to be shifted to the west before it gets to the new street, and be extend all the way to the north property line.
7. Determine the water tap size for Lots 4 and 5.
8. On the final plat, include a slope easement for the pathway shoulder by adding the following or similar language to the final plat, "Slope easement granted along the east side of Lots 3, 4, and 5 as necessary to accommodate a 4:1 slope for a pedestrian pathway shoulder."
9. Prior to recording the final plat, install an 8-foot-wide asphalt pathway along the entire property frontage of Robert Street or pay the estimated cost to do so to the City.
10. Coordinate the garbage collection plan and any improvement of the turnaround with the City before final plat approval.
11. Follow and incorporate the seven "miscellaneous" items listed at the end of the staff report.

12. The final plat application and construction documents (sewer plan, basic street plan, and a pathway plan if the owner will be constructing it) shall otherwise comply with the City ordinances. Utility fees will be addressed with the final plat.

ATTACHMENTS:

Preliminary Plat

Available but not attached: title report, deed, application sheet.

1. THERE ARE NO BARRIERS ON THE CITY OF GOOD COOPERATION WHICH IS BASED ON THE WISDOM OF COOPERATION EXISTING WITHIN THE BEST CITIES OF THE WORLD.
2. THE CONCEPTS OF THE PROPOSED BUREAU OF BUREAUMEN ARE RELATIVELY LEVEL.
3. THERE ARE NO ACHIEVEMENTS SUBJECT TO PLACING ON VOLUMES.
4. TOTAL BUREAUMEN ACHIEVEMENT = 148 ACHIEVEMENTS.
5. SUBJECT PLACES, IN MEDIAN-HIGH DENSITY BUREAUMEN, (C2)
6. BUREAU BUREAUMEN DO NOT CURRENTLY EXIST ON ANY LOTS AT THE TIME OF THIS PLAN, AND MUST BE INSTALLED PRIOR TO APPROVAL OF A BUILDING PERMIT. BUREAUMEN ARE TO BE INSTALLED ON A BUILDING ON LOT 1 AND 2, A BUREAU LEFT ON PUMP DESIGN WILL BE REQUIRED.
7. BUREAU BUREAUMEN DO NOT CURRENTLY EXIST ON LOTS 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788

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 HENRY, DELORE & CHAMBER, 423 LITCH AVE, COOK, WI ②5144
 ③ HANCOCK, KRISTINA G & STEVEN E, PO BOX 2044, COOK, WI ②5144
 ④ HALLIDAY, CRISTINA M, 233 ROBERT ST, COOK, WI ②5146
 ⑤ HALLIDAY, JAMES, 520 ROBERT STREET, COOK, WI ②5146
 ⑥ HARRINGTON, ARMY M, 526 ROBERT STREET, COOK, WI ②5146
 ⑦ HARTSHORN, HOWARD, 225 ROBERT STREET, COOK, WI ②5146
 ⑧ HARTY, JAMES, 225 ROBERT STREET, COOK, WI ②5146
 ⑨ HATHORN, STEPHEN, 225 ROBERT STREET, COOK, WI ②5146
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STATE OF INDIANA) ss.
COUNTY OF HARRIS)
I, the undersigned, being duly sworn, depose and testify that I am the owner of the premises known as the GREENBUSH BLOCK, a portion of which is located in Block "D" of PLAIN, PA, according to the records of the County Clerk of the County of Harris, and that the same premises are now being used for the purpose of being recorded as Record 2021-3462 in said CLERK and RECORDERS OFFICE.
I have been caused to prepare to be examined and attested as shown herein as the owner of said GREENBUSH BLOCK, within the City of COBB, that the GREENBUSH BLOCK is a PLAT in and with the FREE CONSENT and in accordance with the EASEMENTS of the UNDERGROUND MINES and PROPRIETORS, that the GREENBUSH BLOCK DIRECTLY LIESLY ADJACENT TO THE COAL CO. WELLS, THAT SAID LANDS ARE SUBJECT TO ANY EASEMENTS, RIGHTS AND INTERESTS OF THE COAL CO. WELLS.

THIS PLAT WAS ACCEPTED IN THE OFFICE OF THE CLERK AND RECORDS, PARK COUNTY, MONTANA, AS
STOCK JAL ON THIS _____ DAY OF _____ A.D., 1922, FILED FOR RECORDING IN
 BOOK OR PLAT CHIEF'S _____ AT PAGE _____ AND RECORDED AS COMPANION RECORD
 DOCUMENT NUMBER _____
 PARK COUNTY CLERK
 BY _____ DEPUTY.

APPROVED AS OF _____ DAY OF _____, 2022 BY THE CITY
PLANNING AND ZONING BOARD OF COOK COUNTY.

APPROVED AS OF _____ DAY OF _____, 2002 BY THE CITY
CLERK, BY _____

LOCATED WITHIN

LOT 14-A OF BAKKEN SUBDIVISION NO. 2,
RESURVEY T.53N., R.101W., 6TH P.M.,
CITY OF CODY, PARK COUNTY, WYOMING

I, LYLE J. CHURCH, OF CHATTANOOGA, AMERICAN, KENTON COUNTY, TENN. WAS THE PERSON WHO PREPARED AND SUBMITTED ON FILE IN THE OFFICE OF THE PROBATE COURT CLERK, AND FROM NOTES TAKEN DURING AGENC. ELIZABETH FOWLER'S INTERVIEW ON CHATTANOOGA COUNTY ARREST OF 2001; AND, THAT TO MY KNOWLEDGE, THIS WAS THE BELIEF ON THE GROUND AT THE TIME OF HIS DEPORTATION.

PREPARED FOR: IGRA SCHOONOVER

PREPARED BY: ENGINEERING ASSOCIATES
CONSULTING ENGINEERS & SURVEYORS
902 15TH STREET
CODY, WYOMING 82414



JOB NO. 21100.14
07/18/2022

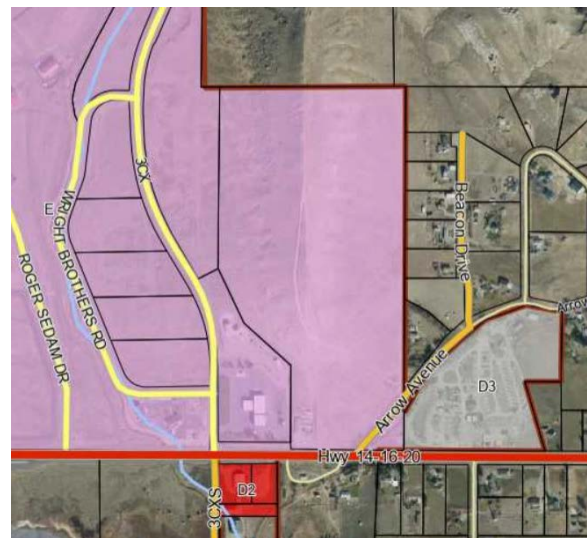
**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	AUGUST 9, 2022	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	
SUBJECT:	BENNY'S PLACE MINOR SUBDIVISION #2 FOR THE CITY OF CODY. SUB 2022-06	RECOMMENDATION TO COUNCIL:	X
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT OVERVIEW

The City of Cody and Yellowstone Regional Airport Board are proposing a two-lot subdivision of a portion of the airport property. The subdivision would separate a small triangular piece of land east of Arrow Avenue, so that it may be sold. The piece of land has already been released from FAA jurisdiction as part of the airport. The plan is to use the funding from the sale of the land to help acquire the 40-acre BLM property at the top of Beacon Hill.

The balance of the property (Lot 102) would remain in City of Cody ownership and subject to FAA and Airport Board management.



Both the preliminary plat and final plat are presented for review.

Zoning Standards:

The property is in the Industrial (E) zoning district, which does not have any zoning standards for building setbacks, building height, minimum lot area, minimum lot width, or maximum lot coverage.

Access:

Access to both lots will be from Arrow Avenue. Arrow Avenue is paved for about 140' off of Highway 14-16-20, and then is a gravel road maintained by the County. Improvement of Arrow Avenue along the subdivision frontage with a paved surface (minimum 24 feet wide) is a subdivision requirement. Timing will be in conjunction with a building permit for the lot being developed.

Utilities:

Both lots have direct access within the lot to City water and sewer, as well as 3rd party utilities of telecommunications, and natural gas. However, if Lot 102 is developed, some of those services will need extended from out along the highway to the building site on the lot. Both lots will need to utilize grinder pump systems to pump the sewer into the low-pressure sewer line along the highway that runs between the lift station at the KOA and the gravity system that starts the manhole in front of where the old animal shelter was located on Lot 1 of the Benny's Place Minor Subdivision. In addition, Lot 103 will need power extended from the other side of Arrow Avenue to the lot.

Utility mains are not being required to be extended down Arrow Avenue as the area to the north is outside of the City's identified annexation area.

SUBDIVISION REGULATIONS

Applicable subdivision ordinance requirements are as follows. Staff comments follow each requirement. When a variance from the standard is involved, it is noted.

11-4-2: STREETS, ALLEYS AND EASEMENTS:

A. Alignment: All proposed streets, alleys and easements shall align horizontally and vertically with existing streets, alleys and easements adjacent to or lying near the subdivision.

Comment- No new public streets or alleys are proposed.

B. Conform to Master Street Plan: All streets shall conform to the city master street plan for size and approximate alignment.

Comments- Arrow Avenue is specified as a "rural" roadway in the city master street plan, which calls for a 32-foot-wide paved road with side ditches. Arrow Avenue is currently a 24-foot-wide gravel road, except for the paved section off of the highway. As Arrow Avenue is maintained by the County, and they specify only a 24-foot-wide gravel surface, we propose a variance be authorized to require only a 24-foot-wide road, with a paved surface and side ditches.

Items "C" through "O" are standards that relate to construction of new public streets and are not applicable to this project—the street alignment that exists meets those standards.

P. Alleys: Alleys shall be required in all subdivisions with the minimum width being twenty feet (20'), unless extreme conditions preclude the feasibility of alleys...

Comment: The configuration of the subdivision does not lend itself to alleys, and the size of the lots are adequate to allow garbage collection and utilities to be located within the lots. A variance to the alley requirement is proposed.

Q. Curb, Gutter, Sidewalk, Paved Streets: Curb, gutter, sidewalk and paved streets shall be required in all proposed subdivisions unless waived in accordance with criteria set out in subsection 11-5-2B of this title by the planning and zoning board, and the city council. ...

Comment: The master street plan does not specify curb, gutter, sidewalk for Rural roads. There is a separated pathway identified for rural roads, but as there is no sidewalk or pathway to tie into on either the state highway or Arrow Avenue. Since the City limits do not extend further north on Arrow Avenue and the County does not require any pedestrian facilities, a variance to the sidewalk/pathway requirement is proposed.

R. Street cross section: The minimum typical street cross section for each type of street shall be as shown on the master street plan...

Comment: As noted above, the street cross section will be used, except it is proposed that the width of pavement be reduced from 32 feet to 24 feet, and the pathway/sidewalk not be provided.

Items "S" through "T" are standards that relate to streets and drainage that are not applicable to this project.

U. Lot Requirements:

1. Lots shall be sited to meet the requirements of the appropriate zoning.

Comment: Met (no minimum in Industrial "E").

2. Every lot shall abut upon or have access to an approved street or cul-de-sac.

Comment: Met, subject to improvement of Arrow Avenue along the lot frontages—upon development of each lot.

3. Side lot line shall be at approximately right angles to the street line on which the lot faces.

Comment: Met.

4. Strip lots...will be prohibited.

Comment: Met.

V. Blocks:... Comment: Met.

Section 11-5-1, DEVELOPMENT AND IMPROVEMENT also includes standards for construction. Applicable sections are listed below.

F. Sanitary Sewer: ...Each lot within the proposed subdivision shall be connected to a minimum eight-inch (8") diameter sewer main by a minimum four-inch (4") diameter sewer service line. The service lines shall be extended from the sewer main to the

property line according to city standards. The use of individual septic systems will not be permitted when a sanitary sewer main is available...

Comment: Due to topography, low pressure grinder pump sewer systems will need to be used for both lots. Lot 102 has an easement across Lot 1 of the Benny's Place Minor Subdivision to access the sewer main. Lot 103 has access to the City low-pressure sewer main on the lot itself. Both lots are to be served with City sewer, but the line sizes are different due to the type of service line (low-pressure instead of gravity).

G. Storm Sewer...

Comment: Minor subdivisions are exempt from the storm water policy. The City storm water policy manual will require a drainage plan for any development on the lots.

H. Water: All water mains will be designed and constructed according to city approved specifications and the city standards. The system will connect each lot within the proposed subdivision to a minimum six-inch (6") diameter main by the use of a minimum three-fourths inch (3/4") copper service line. The service lines shall be extended from the main to the property line according to city standards. ...

Comment: If either lot is developed with a use that necessitates water, it will either need to extend a water service or a water main from the water main along the highway, depending on the water and fire flow requirements for the use and specific types of building(s).

I. Fire Hydrants...

Comment: Met with the existing hydrant at the intersection of Arrow Avenue and the highway.

J. Open Drains, Irrigation Ditches: All open drains and irrigation ditches shall be buried or, if possible, eliminated.

Comment: There is an open irrigation lateral across Lot 103. Due to the size of the ditch, Cody Canal is not requiring it to be piped by the lot owner. A variance to the requirement is proposed.

K. Utilities: All utilities (electrical service, natural gas, telephone, cable TV, etc.) shall be installed underground, whenever possible, in the streets, alleys or utility easements shown on the final plat. All buried utilities will be placed before the finished surface is placed on the streets or alleys ... It will be the developer's responsibility to ensure that all utilities necessary or reasonably expected are placed within the proposed subdivision.

Comment: The subdivision ordinance requires the utility and street improvements to be completed before a building permit is issued. That will be enforced. However, it is unknown if either lot will be developed in a manner that requires utilities. Therefore, construction of utility infrastructure is not proposed at this

time. A note on the plat about the outstanding utility and infrastructure improvements will be required.

Lot 103 is responsible for extension of the electrical system to its lot, as well as its private connections to the water main and sewer force main. As access for Lot 103 will likely be from the paved portion of Arrow Avenue, no improvement to Arrow Avenue is assigned to Lot 103, unless access is from the gravel portion.

Lot 102 is responsible for all utility services that are needed to serve it. In addition, the responsibility to improve Arrow Avenue with a 24-foot-wide paved section from the end of the pavement along the full lot frontage is with the owner of Lot 102 when it is developed.

M. Street Lighting...

Comment: Street lighting is not part of the "rural" road section.

N. Public Use Areas: ...

Comment: Minor subdivisions are exempt from this requirement.

Variances

The subdivision ordinance specifies the following regarding variances: *"If during the approval process of a proposed subdivision it can be shown that strict compliance with the requirements of this title will result in extraordinary hardship to the subdivider due to unusual topography or other similar land conditions, or where the subdivider can show that variances will make a greater contribution to the intent and purpose of this title, the commission and council may, upon written request and proper justification, grant a variance to this title so that substantial justice may be done and the public interest secured; provided, that any such variance will not have the effect of nullifying the intent and purpose of this title."*

The stated purpose of the subdivision ordinance is: *"It is the intent and purpose of this title to promote orderly and systematic development of lands to the advantage of the subdivider, future property owners and the general population of the city. It shall establish guidelines and minimum standards to assist the subdivider and promote the development of a safe and healthy living environment."*

Other:

The property apparently has no surface water rights—no Cody Canal assessment on this portion of airport per title report.

RECOMMENDATION:

Recommend that the City Council grant the variances noted in the staff report, and approve the preliminary and final plats subject to the listed conditions. In addition,

allow the lot owners to postpone the payment of any subdivision utility fees until such time as any development that needs such utilities occurs.

Subdivision Variances:

1. To waive the alley requirement.
2. To allow a reduced road width for Arrow Avenue from 32' to 24' of pavement.
3. To the requirement to provide install a sidewalk or pathway along Arrow Avenue.
4. To the requirement to pipe the irrigation lateral.

Conditions:

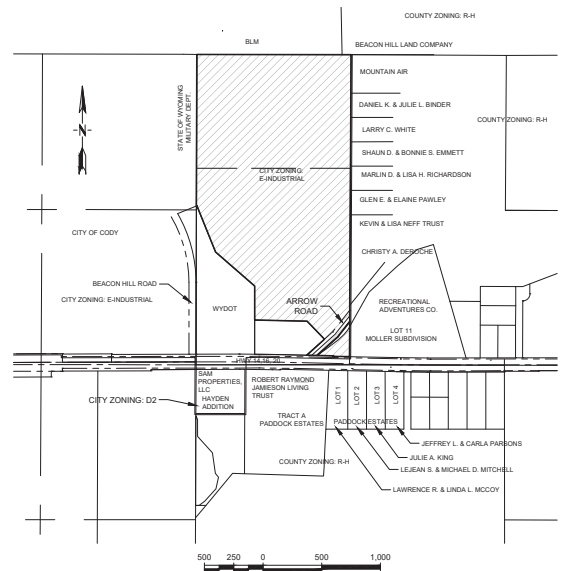
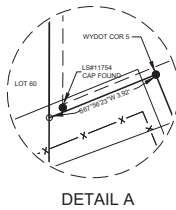
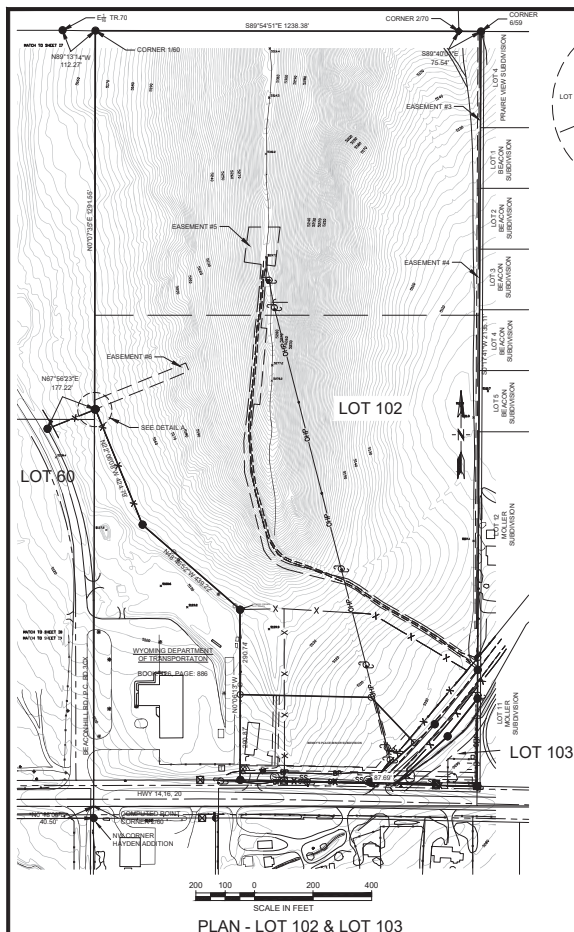
Recommend that the City Council approve the preliminary and final plat subject to the following conditions:

1. Include a note on the final plat that any outstanding subdivision improvements and utility installations are required in conjunction with issuance of a building permit for development on each lot, and to see the Community Development Department for details.
2. Include a note on the final plat that vehicle access for Lot 103 is to be from Arrow Avenue, and located at least as far back from the highway as the access to animal shelter, unless authorized otherwise by Public Works.

ATTACHMENTS

Plat drawings.

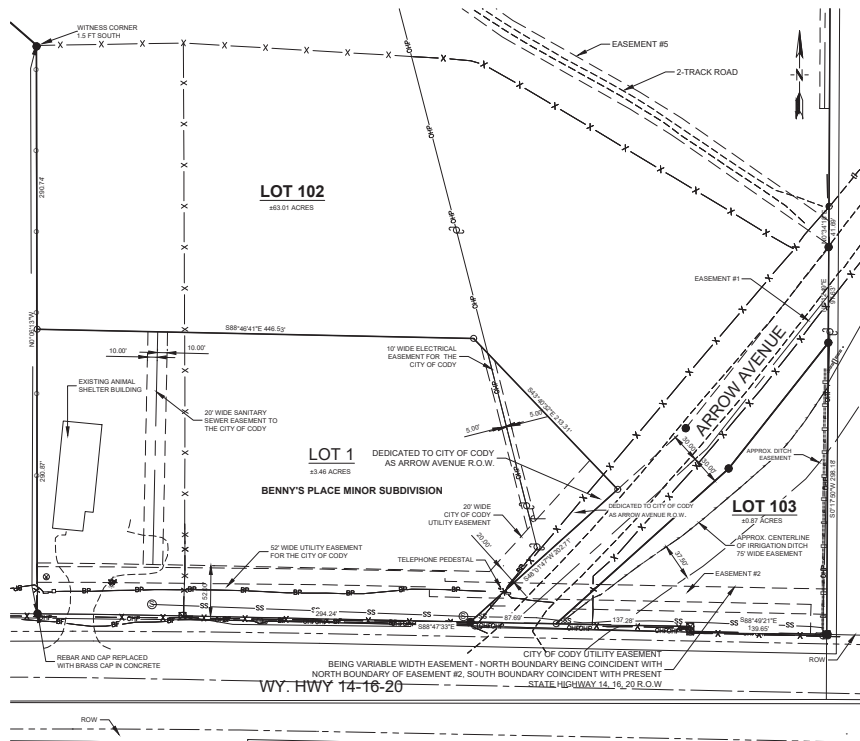
Not attached, but available: Title report, FAA release for area of Lot 103.



LEGAL DESCRIPTION OF PROPERTY TO BE SUBDIVIDED

Lots 3 and 4, Section 4, Township 52 North, Range 101 West, 6th P.M., Park County, Wyoming.

Excepting Therefrom:
Any portion of land contained in the following Deeds recorded in Park County Office of Clerk and Recorder:
January 15, 1989 in Book 1332, Page 485
July 18, 1978 in Book MF 31, Page 217
July 18, 1978 in Book MF 31, Page 219
April 22, 1988 in Book MF 105, Page 885
July 17, 2003 as Doc #2003-6415
January 20, 2020 as Doc #2020-409



EASEMENTS REPORTED WITHIN TITLE POLICY				
EASEMENTS WITHIN LOT 3 AND 4, SECTION 4, TOWNSHIP 52 NORTH, RANGE 101 WEST, 6TH P.M. (RESURVEY)				
AS LISTED IN TITLE INSURANCE POLICY FROM PARK COUNTY TITLE DATED JUNE 11, 2019				
	TITLE PAGE #	GRANTEE TO	BOOK/PAGE OR DOC #	
	27	COUNTY OF PARK, STATE OF WYOMING 60' WIDE ROAD EASEMENT (ARROW)	BOOK 387 PAGE 227	
UNPL	29	CODY GAS COMPANY, A DIVISION OF COASTAL STATE GAS CORP., BLANKET EASEMENT WITH STATE GAS CORP. BLANKET EASEMENT WITH NO WIDTH	BOOK 32 PAGE 958	
	30	THE MOUNTAIN STATE TELEPHONE AND TELEGRAPH COMPANY, 10' WIDE TELEPHONE LINE EASEMENT	BOOK MF 33 PAGE 602	
	31	PACIFIC POWER & LIGHT COMPANY, 10' WIDE POWERLINE EASEMENT	BOOK MF 152 PAGE 482	
	32	PACIFIC POWER & LIGHT COMPANY, 10' WIDE POWERLINE EASEMENT	BOOK MF 158 PAGE 941	
UNPL	34	PACIFIC POWERLINE EASEMENT, MOST LIKELY FROM EXISTING POLE #54701 TO EXISTING ANIMAL SHELTER BUILDING, WAS VACATED BY THE CITY OF CODY WITH THE ACCEPTANCE OF BENNY'S PLACE MINOR SUBDIVISION.	1999-5893	
	40	CITY OF CODY, WY. VARIABLE WIDTH EASEMENT TO SERVICE AIRPORT BEACON	2019-854	
	41	CITY OF CODY, WY. 30' WIDE EASEMENT TO ACCESS WATER TANK AREA	2019-865	

APPROVALS

CITY PLANNING AND ZONING BOARD

APPROVED AS OF THE _____ DAY OF _____, 2022 BY THE CITY PLANNING AND ZONING BOARD OF CODY, WYOMING.

CHAIRMAN _____

CITY COUNCIL APPROVAL

APPROVED AS OF THE _____ DAY OF _____, 2022 BY THE CITY COUNCIL

MAYOR - MATT HALL _____

ATTEST: _____

CINDY BAKER
ADMINISTRATIVE SERVICES OFFICER

CITY OF CODY

PRELIMINARY PLAT SHOWING BENNY'S PLACE MINOR SUBDIVISION #2

A SUBDIVISION OF LOT 2
BENNY'S PLACE MINOR SUBDIVISION.
WITHIN THE CITY OF CODY,
PARK COUNTY, WYOMING

LEGEND

- HIGHWAY MONUMENT FOUND
- REBAR & ALUM. CAP FOUND
- REBAR WITH 2" CAP SET
- IRON PIPE
- BRASS CAP FOUND
- EDGE OF GRAVEL
- POWER POLE
- WATER VALVE
- MH - SANITARY SEWER
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- SANITARY SEWER LINE - FORCE MAIN
- BURIED POWER
- OVERHEAD POWER
- WOOD FENCE
- BARBED WIRE FENCE
- FENCE - MISC.
- EASEMENT

CERTIFICATE OF SURVEY

STATE OF WYOMING)
COUNTY OF PARK)
EDWARD C. REED ON BEHALF OF MORRISON MAIERLE OF CODY, WYOMING DO HEREBY CERTIFY THAT THIS MAP WAS PREPARED FROM FIELD NOTES TAKEN DURING AN ACTUAL SURVEY MADE BY ME ON AUGUST 10 THROUGH 13, 2019 AND KENNY MARCHBANKS UNDER MY DIRECT SUPERVISION ON JULY 28, 2022 THAT THIS MAP CORRECTLY SHOWS THE RESULTS OF SAID SURVEYS AND THAT THE MONUMENTS FOUND OR SET ARE AS SHOWN TO THE BEST OF MY KNOWLEDGE AND BELIEF.

WYOMING L.S. REGISTRATION NO. 14835
MORRISON MAIERLE
BY EDWARD REED (AGENT)

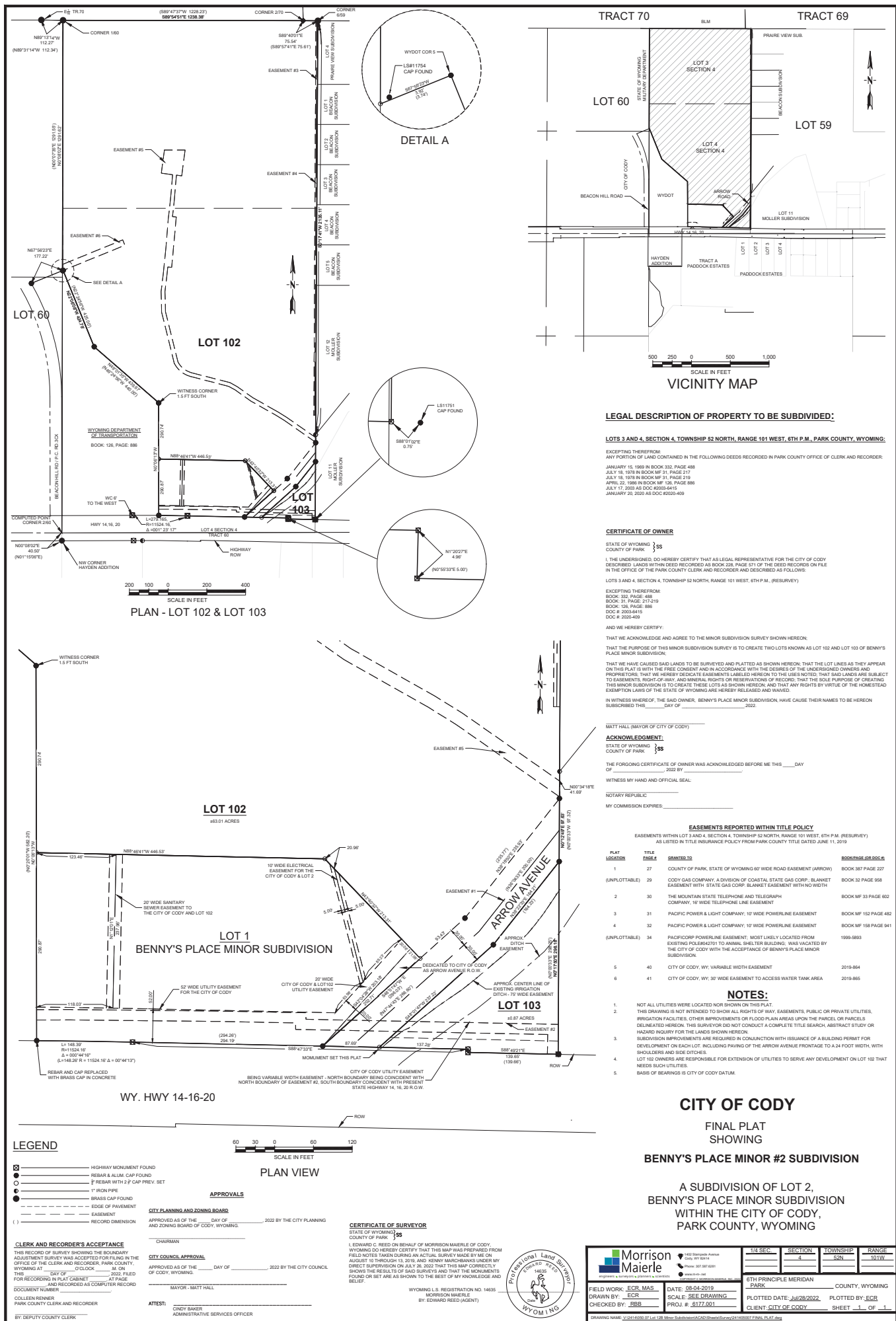
NOTES:

- NOT ALL UTILITIES WERE LOCATED NOR SHOWN ON THIS PLAT.
- THIS DRAWING IS NOT INTENDED TO SHOW ALL RIGHTS OF WAY, EASEMENTS, PUBLIC OR PRIVATE UTILITIES, IRRIGATION FACILITIES, OTHER IMPROVEMENTS OR FLOOD PLAIN AREAS UPON THE PARCEL OR PARCELS DELINEATED HEREON.
- THIS SURVEYOR DID NOT CONDUCT A COMPLETE TITLE SEARCH, ABSTRACT STUDY OR HAZARD INQUIRY FOR THE LANDS SHOWN HEREON. BASIS OF BEARINGS IS BASED ON CITY OF CODY DATUM.



Morrison Maierle Professional Land Surveyor WYOMING		1450 S. Grand Avenue Cody, WY 82401 Phone: 307.567.6261 www.morrisonmaierle.com	1/4 SEC. SECTION TOWNSHIP RANGE 4 4 52N 101W
FIELD WORK: ECR, MAS DRAWN BY: ECR CHECKED BY: JBB	DATE: 08-04-2019 SCALE: SEE DRAWING PROJ. #: 5177.001	DATE: 08-28-2022 PLOTTED BY: ECR CLIENT: CITY OF CODY	5th PRINCIPLE MERIDIAN PARK COUNTY, WYOMING PLOTTED DATE: 8/28/2022 SHEET 1 OF 1

DRAWING NAME: V:\2021\4050 (Lot 102) Minor Subdivision\ACAD\Draw\Survey\24145007 PRELIMINARY PLAT.dwg



**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	AUGUST 9, 2022	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	SITE PLAN REVIEW: SWEET'S SODA SHOPPE. SPR 2022-15	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Wade and Carisa French have submitted a site plan application to develop a drive-thru soda shoppe at 1831 Sheridan Avenue. All customers will remain outside of the building, whether at the drive thru or the walk-up window. A small patio area will be available for outdoor seating.

The property is located in the General Business (D-2) zoning district, which permits drive-thru food establishments.

The site plan and architectural plans are attached for your review.



REVIEW CRITERIA:

Section 10-10B-4 of the zoning regulations states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.

Section 9-2-3 is as follows:

Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.

In addition, the site plan is reviewed for compliance with specific development standards of the zoning ordinance.

STAFF COMMENTS:

Architecture:

The building elevations are depicted in the attached building elevations and the photos below. The main structure is a 14-foot by 50-foot pre-manufactured shed, which has a porch on the north end. A second, 6-foot-deep covered porch will be added to the south end, for a total length of 56 feet. The shed will be converted into an insulated and conditioned building on a permanent foundation. The building will contain the food preparation, storage, and cleaning areas, as well as an employee restroom.



The original building has a gable style roof, with a sheet metal covering. The exterior wall covering is T-111 siding. The covered porches are the only architectural enhancements to the building, and they are relatively basic (no open timbers, no decorative columns).

The requirement in the zoning ordinance is that new structures need to be architecturally compatible with others in the district. That is interpreted to mean they are to be of a similar architectural quality. The D-2 zone extends west of 19th Street. To the east of 19th Street is the D-3 Light Industrial zone. Buildings in the immediate area are shown in the photos below.

As can be seen in the photos, almost all of the buildings on the neighboring properties have some architectural enhancement.



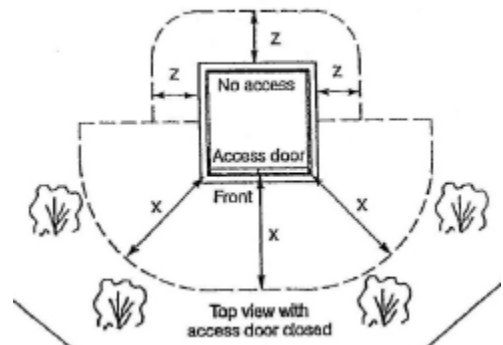


Landscaping:

The landscaping plan is attached. It proposes a combination of grass lawn, feather reed grass, weigela, euonymus, and dwarf Alberta spruce. The landscape plants are generally climate appropriate and will greatly enhance the presentation of the property. (My weigela plants die back to ground level each winter, so they never get very large.)



All vegetation will need to be located so that it does not grow into the sidewalk area, and maintains clearances from the electrical cabinet near the intersection. Refer to the following diagram from the City of Cody Electrical Distribution Standards Manual, section 9.02. For electrical cabinets $z=3'$ and $x=10'$. The southern cluster of plants along 19th Street will need shifted to provide the clearances.



The watering method for the landscaping is from a proposed raw water tap into the City system located in the alley.

The Board will need to determine if the landscaping plan is acceptable. The property is outside of the entry corridor, so no specific percentage of landscaped area is dictated by the code. Staff believes the landscaping plan is appropriate.

Access/Parking:

The proposed access layout is shown on the attached civil site plan by Sage Civil Engineering, and is acceptable to public works. Access to the parking spaces and drive thru would be from the alley to the north of the property. Vehicles would exit through the drive thru route, which is marked appropriately as a right turn only, or through the alley to 19th Street. The drive-thru lane is just wide enough that a standard passenger vehicle could fit around another vehicle stopped at the drive-up window.

For purposes of clarity, an "Exit Only" sign (or two) should be installed facing Sheridan Avenue, and on the back side of the post, a "Right Turn Only" sign installed.

Parking lot lighting is provided, as required for parking lots to be used at night. However, the location of the lights appears to be outside of the property, and will need to be adjusted so that they are located off of the right-of-way.

For comments on the amount of parking lot/exterior lighting, see the next section.

The surfacing of the parking lot is paved, and provided around the perimeter with curb and gutter.

The ADA parking and unloading space is shown as required. Being a van-accessible space, the striping can be done to create an 11-foot-wide parking space and 5-foot-wide unloading aisle (reduces cross hatched area). A sign in front of the ADA space will need to be added.

The site plan shows five standard parking spaces. In practice, we have counted the vehicle stacking area of the drive through lane (at one space per 22') as counting as parking spaces also. This site plan has stacking for five spaces in the drive thru lane, for a total of ten parking "spaces".

The parking ordinance has a recommended parking ratio for fast food restaurants, which is the closest category in the table—admittedly this building does not have indoor customer area, so the category may not fit perfectly. The calculation in the parking ordinance for a drive-thru restaurant is either 15.2 spaces per 1,000 sq. ft. of building, or 0.6 spaces per customer seat. Using the 15.2 space ratio, 10.6 (rounded to 11) spaces would be recommended. Using the seating ratio, the 10 proposed parking spaces would allow seating for 16, and 16 seats are shown.

The Board can accept other reliable data in determining the number of spaces required.

If the Board does not want to use those ratios, simply requiring one standard space (a space not in the drive-thru lane) per table would seem appropriate—one table per party. That would allow four or five tables, depending on how you view the ADA parking space. The drive-thru spaces would be considered adequate for the drive thru component. Any way the Board looks at it using these ratios, the number of parking spaces provided seems in line with the recommendations of the code.

The parking ordinance does require any entrance and exit serving a commercial business with five or more parking spaces to be paved for at least 25 feet off the public street. This would mean that the first 25 feet of the alley, measured from the curb line, would need to be paved as part of this project. If the applicants desire to pave the alley all the way through the access into the parking lot, that is an option, but not required.

Exterior Lighting

Exterior lighting is proposed in the form of a couple of can lights under each porch, four light poles along the east side of the property (5th by sign?), and a rope or strip lighting system at the perimeter of the roof.



The proposed fixture for the light poles is full cut-off in style. The literature on the lighting fixture website does not provide photometric maps of the lighting levels or spread. Without the software to run the downloadable files from the website, it is impossible to accurately interpret coverage and lighting levels. Industry standard (Illuminating Engineering Society) for parking lots and building security are 0.5 to 3 footcandles on average. Based on information from other brands, it appears that the proposed spacing and intensity of the lighting is well above the recommended level—likely double. Staff would not recommend approving the parking lot lighting layout without having better information and assurance that the lighting will be within the recommended range of .5 to 3 footcandles on average. The plans do show that the pole lighting will be on a combination timer/photocell (see Note 13 on Architectural Site Plan).

The can lights under the porches are appropriate, so long as they are recessed or frosted bulbs to prevent glare.

The Board typically limits color temperature to 4,000K or less to minimize the impacts of blue light. Unless the applicant has justification that 5,000 is needed, 4,000K should be used (typically no cost difference) for the pole lights and can lights. The City's streetlights are 4,000K, and moonlight is about 4,000K also.

The LED rope or strip lighting is not fully described. Staff has asked the applicant to be prepared to discuss the rope lighting at the meeting. (Is it to be hidden behind the

eave to create a glow effect, or will it be exposed? How will it be managed—as is flashing or moving effects? What intensity is the lighting? Will it be controlled by a timer? Remember that this site is across an alley from a residential area.)

Neighborhood Compatibility, Setbacks and Buffers

The location of the property does not trigger any zoning setbacks or buffer requirements, as it is not immediately next to any residential property. It is separated from residential properties by the alley.

Grading/Storm Water Plan:

The grading and stormwater plan has been prepared by a professional engineer and meets minimum requirements. In brief, much of the storm water will be captured by the curb and gutter along the east side of the parking lot and directed into a rock infiltration trench. Historical amount will leave the property and be captured by a storm water inlet at the intersection where it will enter the City stormwater system. The grading is shown on the site plan, and the storm water report is attached.

Snow Storage

The snow storage area is not identified, but will likely utilize the lawn area east of the parking lot.

Utility Services

The connection locations for sewer, water, and natural gas are shown appropriately on the site plan. The water tap will need to be made on the far side of 19th Street. Usually, the water crew does the work to tap the line and bring it to the property line. However, in this case, due to scheduling, etc., they may determine that the excavation and asphalt patching be done by contractors. Coordinate with Public Works. Applicable utility fees will need to be paid for the utility connections.

For the electrical service, a service feed will need to come down one of the poles on the north side of the alley, and underground to the building. The electrical division indicates that the existing transformer is adequate to serve this additional development. As the conduit coming down the pole is in a driving area (alley), the lower four feet of conduit will need to be of galvanized metal (GRC), rather than PVC (per electrical standards manual). The electrical work will be by the applicant's contractor, except for making the connections at the top of the pole.

Signs

Sign details have not been provided, other than a general location for a monument sign (see Note 10). A sign permit will need to be submitted in the future.

Fencing:

None proposed.

Hydrant

A fire hydrant is across Sheridan Avenue from this property.

Garbage

The existing dumpster location is on the north side of the alley.

ATTACHMENTS:

Application materials—site plans, elevation drawings.

ALTERNATIVES:

Approve or deny the site plan with or without changes.

RECOMMENDATION:

It is recommended that the Planning and Zoning Board approve the proposal (or table for additional information), subject to the following conditions.

1. Management of the exterior lighting shall occur as discussed with the planning and zoning board (Exterior lighting shall be full cutoff in style and not have a higher color temperature than 4,000 Kelvin; Use of timer; Location and management of rope lighting; Other?)
2. Modify the exterior lighting plan to comply with the 0.5 to 3 footcandle illumination levels for the parking lot and walk areas. Work with planning staff to determine where to move the parking lot lighting so it is out of the right-of-way.
3. Modify the landscaping plan to provide the required clearances from the electrical boxes.
4. An "Exit Only" sign must be installed facing Sheridan Avenue, and on the back side of the post, a "Right Turn Only" sign installed.
5. Pave the alley to a point at least 25 feet west of the curb line of 19th Street
6. All work within the right-of-way, including the curb cut, sidewalk, utility work, alley paving, and landscaping will need to be covered by a street encroachment permit from Public Works. The contractor(s) doing the work is responsible to obtain the permit(s).
7. Pay the applicable utility connection fees. Coordinate installation with Public Works.
8. Upon completion, the storm water facilities must be inspected and certified by the applicant's engineer that they were completed according to the approved plans or equivalent, prior to building occupancy.
9. (Any requirement for architectural enhancement?)
10. The project must otherwise comply with the project description, as described in the application and at the Planning and Zoning Board meeting. A building permit must be obtained within three years or this authorization will expire.

SWEETS SODA SHOPPE



GENERAL CONTRACTOR:

ARCHITECT:

POINT ARCHITECTS :: www.pointarchitects.com

JARED R. HOFFMAN
1203 SHERIDAN AVE.
CODY, WY 82414
p. 620-290-5555
jared@pointarchitects.com

KANE MORRIS
1203 Sheridan Ave.
P.O. Box 1001
Cody, WY 82414
p. 307-272-4006
f. 208-246-5173
kane@pointarchitects.com

PROJECT LOCATION:

SHEET INDEX:

- T0.0 COVER
- CC1.1 CODE COMPLIANCE FLOOR PLAN

CIVIL -

SHEET TITLE

- 1 SITE PLAN
- 2 ACCESSIBILITY PLAN
- 3 DRAINAGE PLAN

ARCHITECTURAL -

- SP1.1 OVERALL ARCHITECTURAL SITE PLAN
- A1.1 MAIN LEVEL FLOOR PLAN
- A2.1 EXTERIOR ELEVATIONS

STRUCTURAL -

- S0.1 GENERAL NOTES
- S1.0 FRAMING PLANS
- S1.1 FOUNDATION & FRAMING DETAILS

ELECTRICAL -

- E1.1 MAIN LEVEL ELECTRICAL PLAN

GENERAL NOTES:

1. ALL WORK, PRODUCTS AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CODES.
2. ALL QUESTIONS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF VIRTUALLY HOME PRIOR TO COMMENCING THE AFFECTED WORK.
3. ALL MANUFACTURED ITEMS SHALL BE INSTALLED PER THE MANUFACTURER'S REQUIREMENTS.
4. CONTRACTOR SHALL ADHERE TO ALL WRITTEN DIMENSIONS. ANY QUESTIONS ABOUT DIMENSIONS NOT PROVIDED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING THE AFFECTED WORK.
5. CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL EXISTING UNDERGROUND UTILITY LINES PRIOR TO EXCAVATION.
6. CRAWL SPACE ABOVE VAPOR BARRIER SHALL BE CLEAN AND COMPLETELY FREE OF ANY DUST, SCRAPS, SAWDUST, SHAVINGS, PACKAGING, DIRT OR DEBRIS OF ANY TYPE. ANY DEBRIS OR MATERIAL FOUND IN CRAWL SPACE AT SUBSTANTIAL COMPLETION SHALL BE REQUIRED TO BE REMOVED PRIOR TO RECEIVING FINAL CONTRACT PAYMENT.
7. THE INTENT OF THIS DOCUMENT SET IS TO SERVE AS A BASELINE OF INFORMATION TO ESTABLISH A COST OF CONSTRUCTION, SECURE PERMITS AND PROVIDE A SET OF INSTRUCTIONS FOR BUILDING THE HOME AS ENVISIONED BY THE OWNER AND ARCHITECT. IT IS NOT EXHAUSTIVE. THERE WILL BE MANY MANY QUESTIONS THROUGHOUT THE CONSTRUCTION PROCESS. THE SUCCESS AND POLISH OF THE FINAL PRODUCT WILL DEPEND ON THOUGHTFUL SEQUENCING, PREPARATION, CARE AND CRAFTSMANSHIP. IT IS THE INTENT OF THE OWNER AND DESIGNER TO UNDERSTAND THE CONSTRUCTION PROCESS AS A TEAM WHERE EVERY MEMBER CONTRIBUTES SKILL KNOWLEDGE, OPINION AND EXPERIENCE. THERE WILL BE AREAS THAT THESE DOCUMENTS DO NOT EXPLICITLY ADDRESS OR DEPICT. WHEN THE TIME COMES TO PERFORM WORK IN THOSE AREAS, IT IS THE RESPONSIBILITY AND OBLIGATION OF THE CONTRACTOR TO CONTACT THE ARCHITECT AND WORK THROUGH THEM AS A TEAM. THIS COMMUNICATION WILL RESULT IN THE BEST FINAL PRODUCT.



LOCAL MAP



REGIONAL MAP



POINT
ARCHITECTS

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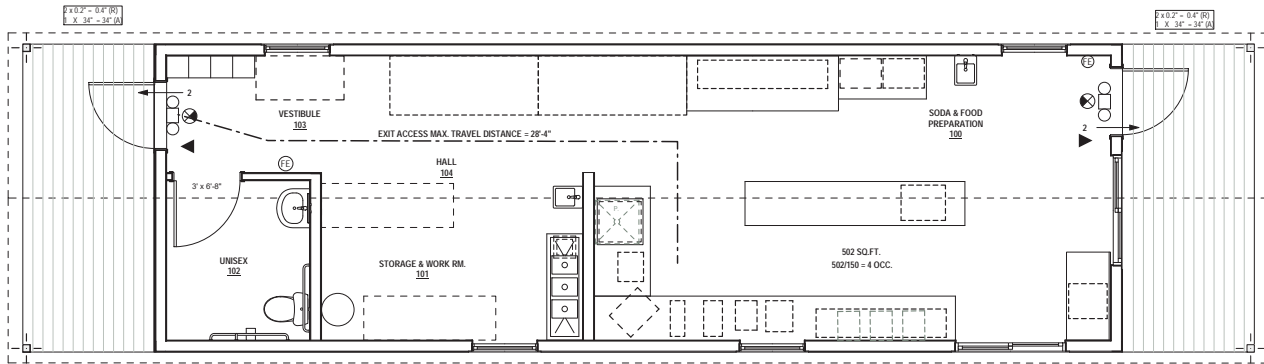
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DATE 08/22
SCALE
FILE Sweets Soda Pop Shoppe
DWG

T0.0

SWEET'S SODA SHOPPE
1831 SHERIDAN AVE., CODY WY 82414

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE WYOMING CONSTRUCTION CODES AND REGULATIONS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DOCUMENT.



CODE COMPLIANCE FLOOR PLAN
1/2" = 1'-0"

- I. BUILDING CODES**
- INTERNATIONAL BUILDING CODE 2021
 - NATIONAL ELECTRIC CODE 2020
 - INTERNATIONAL PLUMBING CODE 2021
 - INTERNATIONAL MECHANICAL CODE 2021
 - INTERNATIONAL FIRE CODE 2021
 - AMERICANS WITH DISABILITIES ACT AND GUIDELINES PER SECTION 107.1 AND CHAPTER 11
 - IFPA 13

- A. PROJECT CONSTRUCTION PURPOSE**
- THE PROPOSED PROJECT IS NEW LOCATION FOR SWEET'S SODA POP BAR.
- B. REASON FOR SUBMITTAL:**
- BUILDING INSPECTION REQUIREMENT FOR NEW BUILDING CONSTRUCTION, ADDITIONS, AND REMODELS.

- C. WYOMING FIRE PREVENTION CODE**
- Wyoming State Statute: 25-9-108

- D. FUTURE ADDITIONS AND REMODELS**
- NO FURTHER ADDITIONS OR REMODELS PLANNED AT THIS TIME OTHER THAN WHAT IS SHOWN ON THE DRAWINGS.

- E. FACILITY NAME:**
- SWEET'S SODA POP BAR
1000 SHERIDAN AVE.
CODY, WYOMING 82414
CONTACT: JARED R. HOFFMAN
6309 276-1140

- F. LOCAL FIRE DEPARTMENT**
- FARM COUNTY FIRE DISTRICT #2
1205 11TH STREET
CODY, WYOMING 82414
(307) 527-3476

- G. LOCAL BUILDING INSPECTION DEPARTMENT**
- CITY OF CODY WYOMING
BUILDING DEPARTMENT
1205 11TH STREET
CODY, WYOMING 82414
(307) 527-3476

- H. WATER SUPPLY:**
- SIXCROWNE MUNICIPAL PIPELINE
SHERIDAN AVE.
CODY, WYOMING 82414

B. PROJECT CERTIFICATION

- A. ARCHITECT**
- POINT ARCHITECTS
1205 SHERIDAN AVENUE
CODY, WYOMING 82414
(307) 296-3558

B. DESIGN CONSULTANT:

DESIGN CONSULTANT SEAL

III. WYOMING PROVISIONS

- A. WALLS, INGRESS, EGRESS, PUBLIC TOILETS.

IV. OCCUPANCY AREA CONSTRUCTION

- OCCUPANCY GROUP: BUSINESS

- OCCUPANCY SEPARATION: NOT REQUIRED

TYPE OF CONSTRUCTION TYPE V-B

THE PROPOSED STRUCTURE IS A PRE MANUFACTURED / PRE FABRICATED WOOD FRAMED BUILDING PURCHASED BY THE OWNER. THE BUILDING IS CONSTRUCTED OF 2X4 WOOD STUDS, WITH 1/2" 11 PLY WOOD SHEATHING/CLADDING. HANG STUCKED WOOD TRUSSES WITH HANGS SHEATHING AND A STANDING SEAM METAL ROOF. THE PRE FABRICATED BUILDING SITS ON A SERIES OF 4X4 PRE CASTURE TREATED WOOD SIDS. THE BUILDING WAS SET ON A CONCRETE SLAB ON GRADE FOUNDATION SYSTEM.

OCCUPANCY REQUIREMENTS

OCCUPANCY "B"

BASIC ALLOWABLE FLOOR AREA: 9,000 SF (TABLE 503.2(2)(2) IBC)

ALLOWABLE AREA INCREASE: (SPRINKLER: 300%) N/A

TOTAL ALLOWABLE AREA: 9,000 SF

ACTUAL AREA: 502 SQ. FT.

ALLOWABLE STORIES / ACTUAL STORIES: 1 / 1

ALLOWABLE HEIGHT / ACTUAL HEIGHT: 40' 11" 10' 10"

TOTAL OCCUPANT LOAD: 4 OCCUPANTS

WATER CLOSERS REQUIRED / PROVIDED: 1 / 1

LAVATORIES REQUIRED / PROVIDED: 1 / 1

DRINKING FOUNTAINS REQUIRED / PROVIDED: 1 / 1

IF DRINKING FOUNTAIN IS NOT OPEN TO THE PUBLIC, EMPLOYEES HAVE ACCESS TO WATER, SODA, OR OTHER BEVERAGES OF THEIR CHOICE. "

SERVICE SINK REQUIRED / PROVIDED: 1 / 1

V. BUILDING FIRE PROTECTION

STRUCTURAL FIRE RATING FOR TYPE V-B CONSTRUCTION (ALLOWABLE)

STRUCTURAL FRAME 0 HR

EXTERIOR LOAD BEARING WALLS 0 HR

INTERIOR LOAD BEARING WALLS 0 HR

EXTERIOR NON BEARING WALLS 0 HR

INTERIOR NON BEARING WALLS 0 HR

SMALL ENCLOSURES 1 HR

FLOORS 0 HR

ROOFS 0 HR

EXTERIOR OPENINGS 0 HR

VI. BUILDING FIRE PROTECTION

ACTIVE FIRE SAFETY SYSTEM

IFPA 11 FIRE SMOKE DETECTOR SYSTEM: NOT REQUIRED / NOT PROVIDED

SMOKE DETECTORS: NOT REQUIRED / NOT PROVIDED

EXIT LIGHTS: YES (W/ BATTERY BACKUP) REQUIRED / PROVIDED

EMERGENCY LIGHTS: YES (W/ BATTERY BACKUP)

VII. PASSIVE FIRE SAFETY FEATURES

COMMON PATH PER (IBC 106.11): 100' 0" (5) OCCUPANCY)

EXIT TRAVEL DISTANCE PER (IBC TABLE 101.2): 200' 0" FOR A NON-SPRINKLED BUILDING (5) OCCUPANCY)

DEAD END LIMIT PER (IBC 101.4): 20' 0" FOR A NON-SPRINKLED BUILDING

LEGEND

- 2 HR FIRE SEPARATION REQUIRED
- TRAVEL DISTANCE
- # OF PEOPLE EXITING @ LOCATION
- EXITING REQUIREMENT @ DOOR / CORRIDOR
- REQUIRED EXIT WIDTH
- ACTUAL CLEAR DOOR OPENING WIDTH
- TOTAL OPENING WIDTH @ EACH DOOR OPENING
- # OF DOORS @ LOCATION
- ▲ DESIGNATED EXITS
- Ⓢ PORTABLE FIRE EXTINGUISHER LOCATIONS
- ▨ HATCH INDICATES MIXED OCCUPANCY, NO WORK IN THIS AREA
- AREAS NOT HATCHED ARE THE AREAS OF THE PROPOSED ADDITION & REMODEL



POINT ARCHITECTS

301 E 10th Street
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Cody, WY 82401
(307) 272-0000
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DATE	REV
08/22	1
08/22	2
08/22	3
08/22	4
08/22	5
08/22	6
08/22	7
08/22	8
08/22	9
08/22	10

DATE: 08/22
SCALE: AS SHOWN
FILE: Sweet's Soda Pop Shoppe (R)

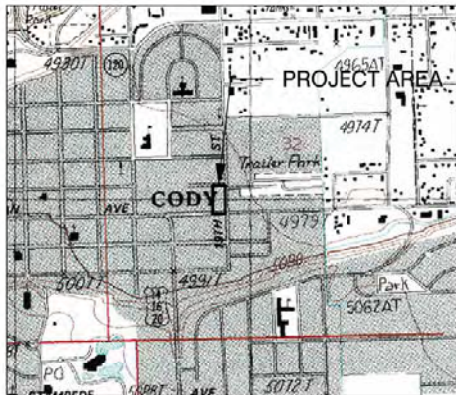
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SWEET'S SODA SHOPPE
1831 SHERIDAN AVE., CODY WY 82414

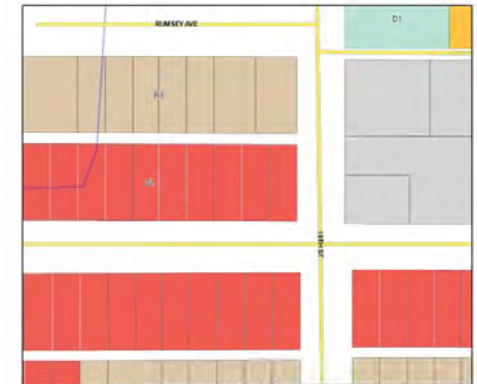
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE WYOMING BUILDING CODE, AS ADOPTED BY THE BOARD OF ARCHITECTS OF THE STATE OF WYOMING.

SITE DEVELOPMENT PLANS FOR SWEETS SODA SHOPPE CODY, WYOMING

AUGUST 04, 2022



VICINITY MAP



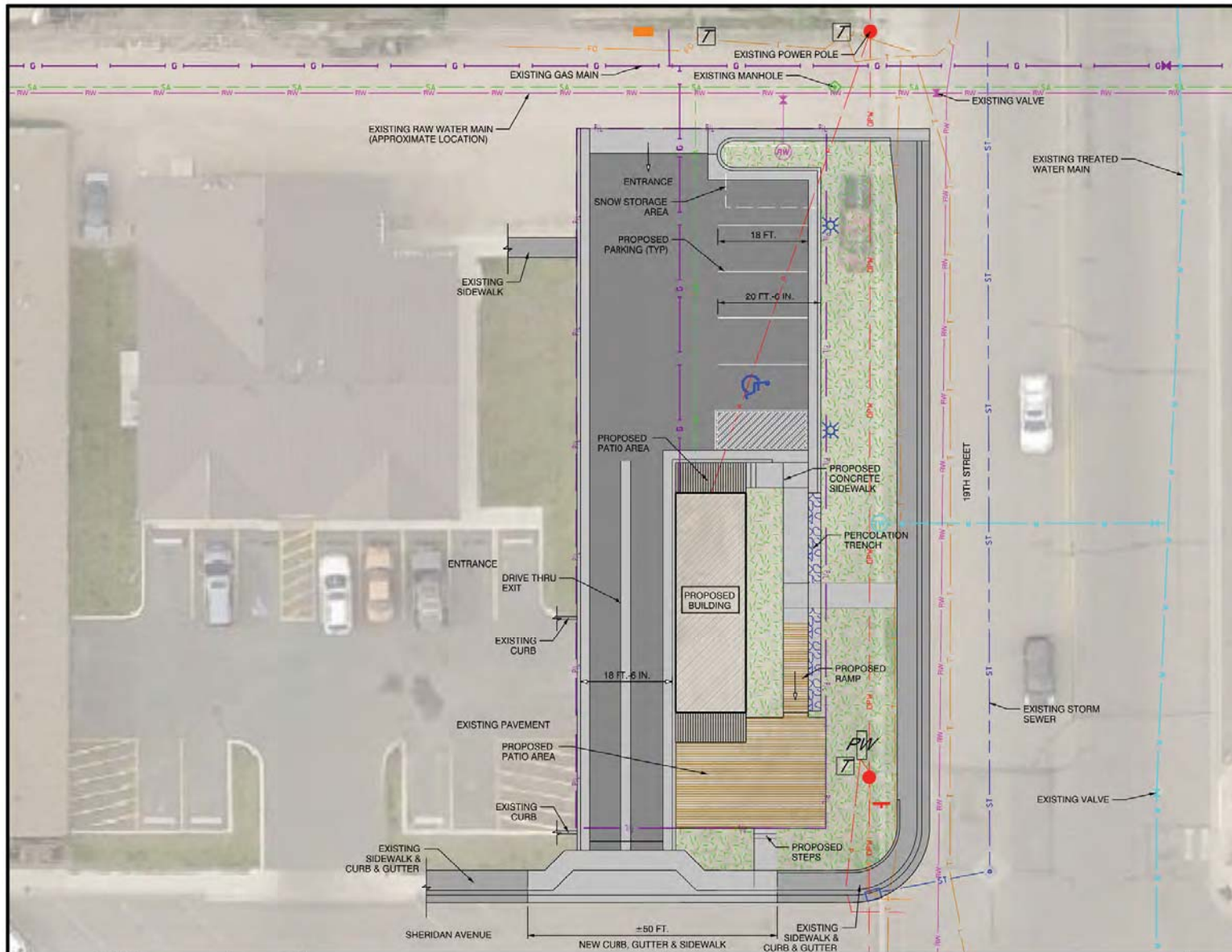
CITY OF CODY ZONING DISTRICTS

- MOBILE HOME PARK (MHP)
- HEAVY INDUSTRIAL (HI)
- GENERAL BUSINESS (D2)
- MEDIUM-HIGH DENSITY RESIDENTIAL (R3)

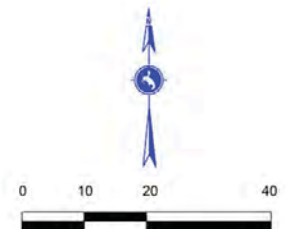
SHEET TITLE	SHEET NUMBER
SITE PLAN	1
ACCESSIBILITY PLAN	2
DRAINAGE PLAN	3

ACEC
ARCHITECTURAL CIVIL ENGINEERING CONSULTANTS
OF WYOMING

ACEC
2824 BIG HORN AVE.
CODY, WY 82414
PHONE: (307) 527-0915
WWW.SAGECIVILENGINEERING.COM



LEGEND	
	PROPERTY LINE
	SANITARY SEWER LINE & SERVICE
	TREATED WATER MAIN & SERVICE
	RAW WATER MAIN & SERVICE
	GAS LINE & SERVICE
	UNDERGROUND POWER
	STORM SEWER
	OVERHEAD POWER LINE
	UNDERGROUND FIBER OPTIC
	UNDERGROUND TELEPHONE
	PERCOLATION TRENCH
	VALVE
	FIRE HYDRANT
	PROPOSED CURB STOP
	ELECTRICAL VAULT
	POWER TRANSFORMER
	SECONDARY PEDESTAL
	PROPOSED MANHOLE
	DUMPSTER
	SIGN
	PROPOSED LUMINAIRE
	EXISTING TELEPHONE BOX
	EXISTING POWER BOX
	GRASS/LANDSCAPE AREA
	PROPOSED SIDEWALK/CURB & GUTTER
	PROPOSED PAVEMENT
	EXISTING SIDEWALK/CURB & GUTTER



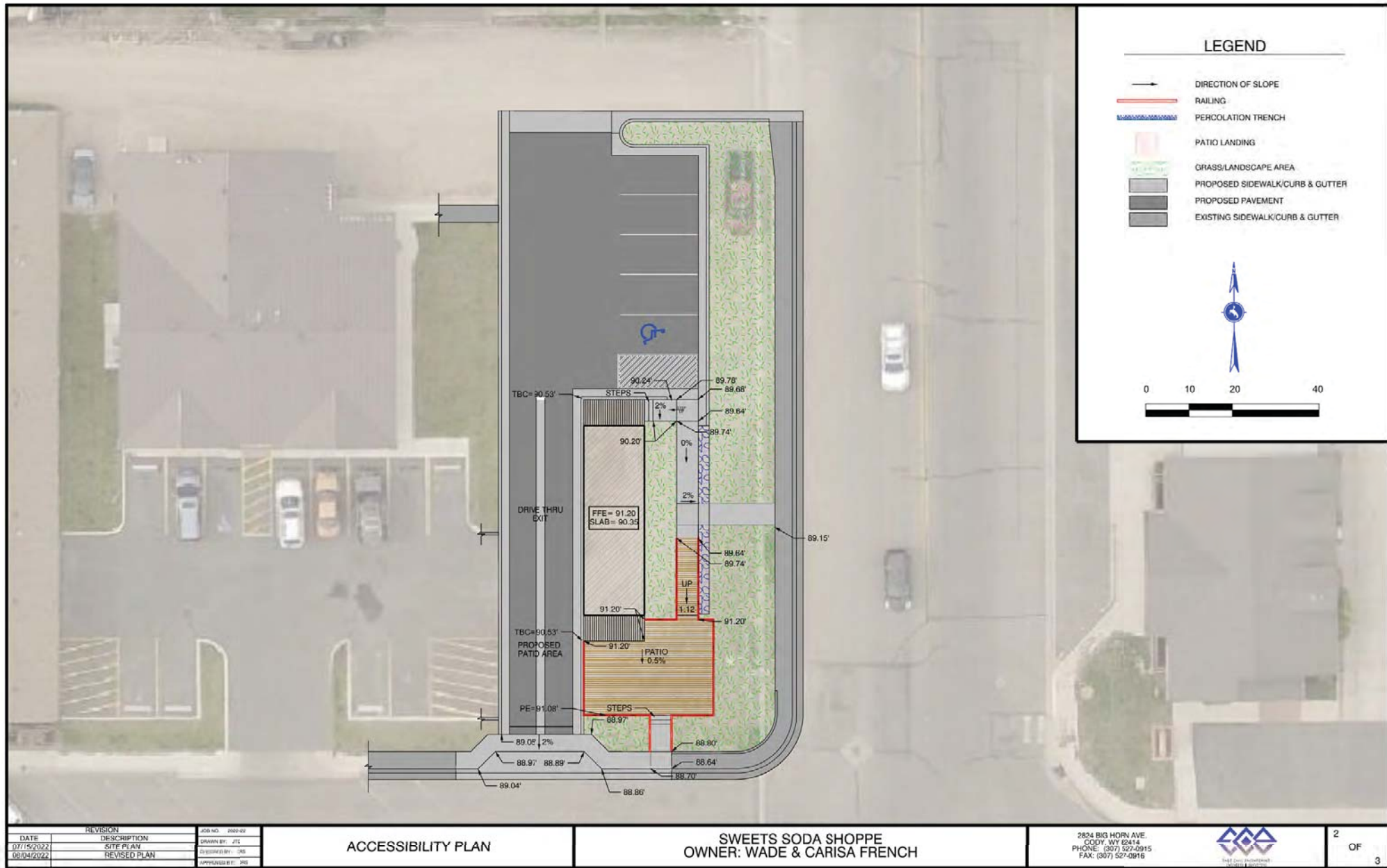
DATE	REVISION	JOB NO.
07/15/2022	DESCRIPTION	2022-01
08/04/2022	SITE PLAN	
	REVISED SITE PLAN	

SITE PLAN

SWEETS SODA SHOPPE
OWNER: WADE & CARISA FRENCH

2824 BIG HORN AVE.
CODY, WY 82414
PHONE: (307) 527-0915
FAX: (307) 527-0916





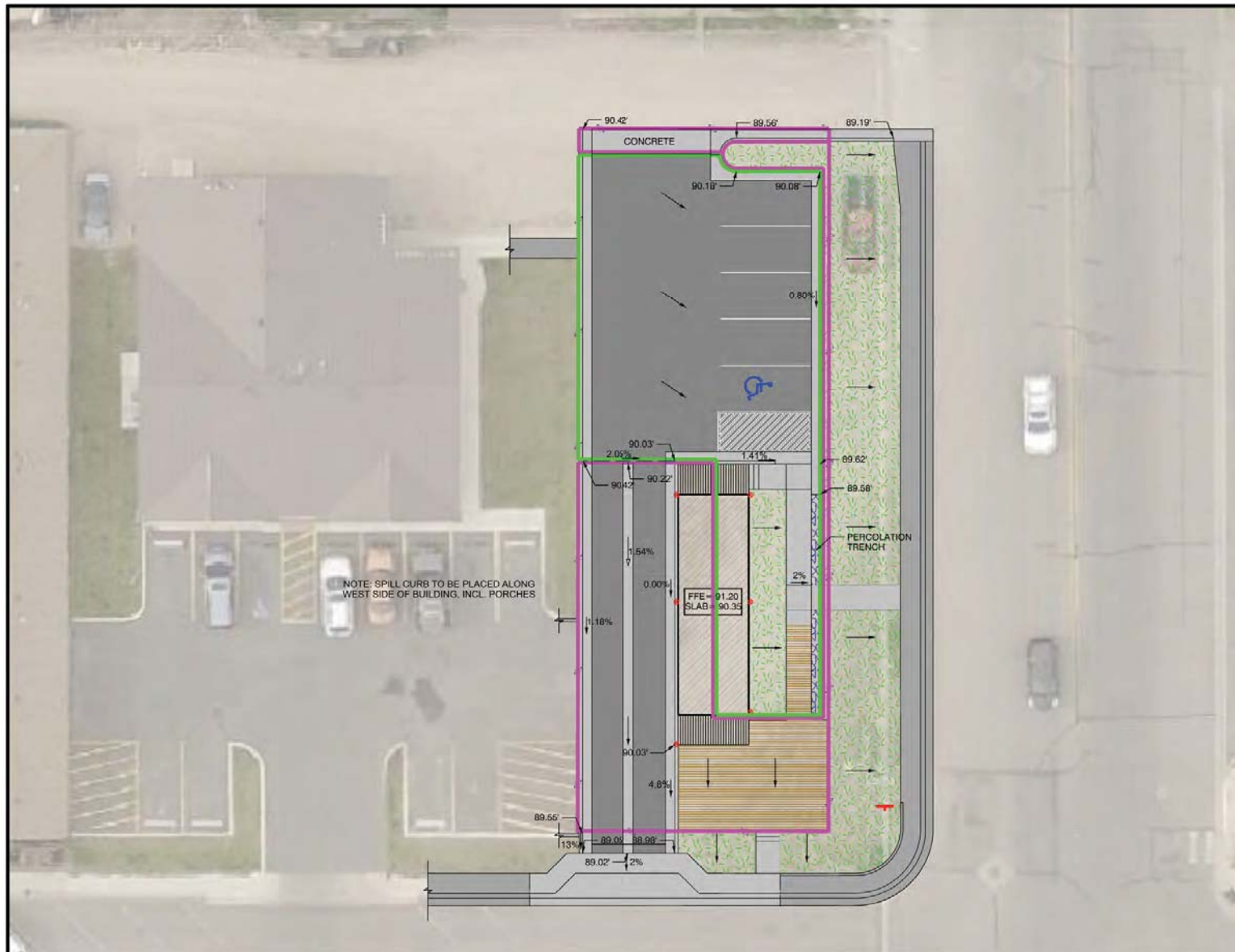
DATE	REVISION	JOB NO.
07/15/2022	DESCRIPTION	2022-02
08/04/2022	SITE PLAN	
	REVISED PLAN	

ACCESSIBILITY PLAN

SWEETS SODA SHOPPE
OWNER: WADE & CARISA FRENCH

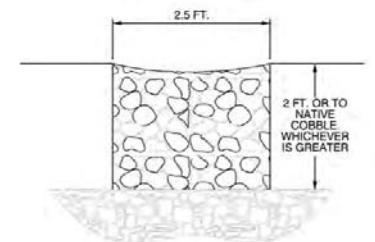
2824 BIG HORN AVE.
CODY, WY 82414
PHONE: (307) 527-0915
FAX: (307) 527-0916



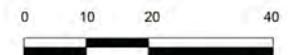


NOTES/LEGEND

- * ELEVATIONS SHOWN ARE FLOWLINE
- DIRECTION OF FLOW
- DOWNSPOUT
- PERCOLATION TRENCH
- DB1
TOTAL AREA = 4068 SF
IMPERVIOUS = 3625 SF
GRASS = 334 SF
PERC TRENCH = 110 SF
- DB2
TOTAL AREA = 2932 SF
IMPERVIOUS = 2572 SF
GRASS = 360 SF
- GRASS/LANDSCAPE AREA
- PROPOSED SIDEWALK/CURB & GUTTER
- PROPOSED PAVEMENT
- EXISTING SIDEWALK/CURB & GUTTER



NATIVE COBBLE
PERCOLATION TRENCH
N.T.S.



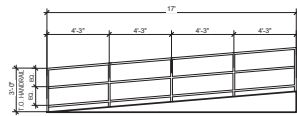
DATE	REVISION	JOB NO.
07/15/2022	DESCRIPTION	2022-01
08/14/2022	PRELIMINARY	
	REVISED PLAN	

DRAINAGE PLAN

SWEETS SODA SHOPPE
OWNER: WADE & CARISA FRENCH

2824 BIG HORN AVE.
CODY, WY 82414
PHONE: (307) 527-0915
FAX: (307) 527-0916



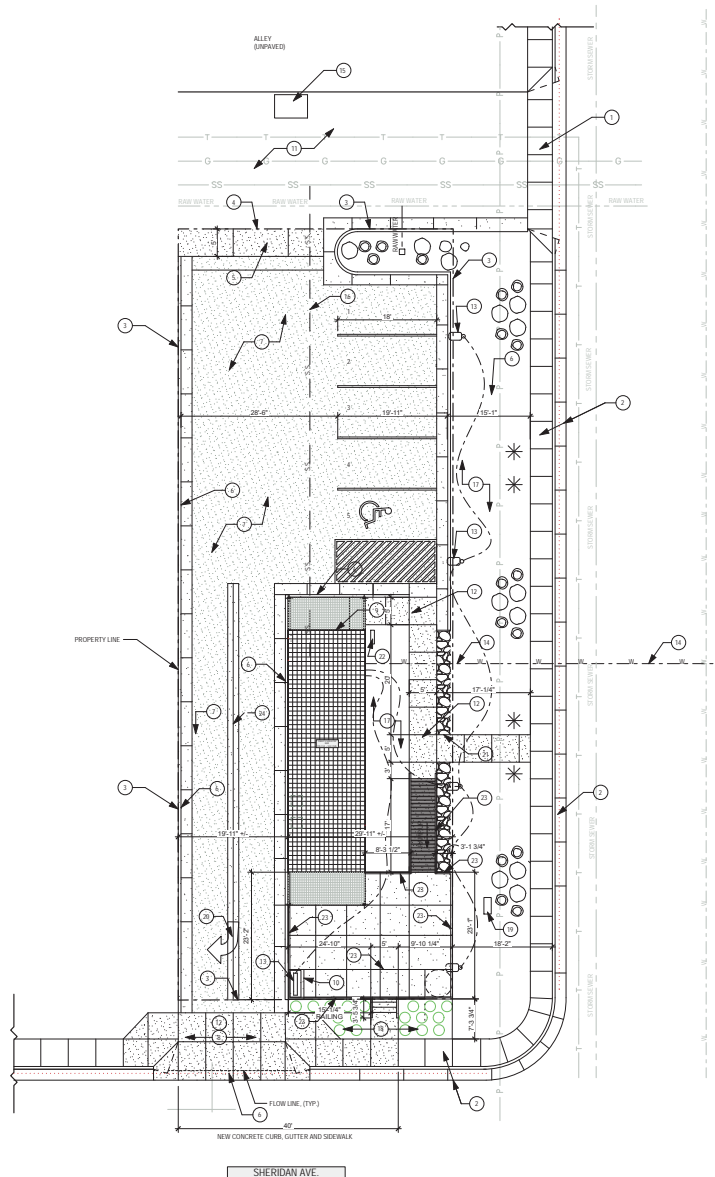


HAND RAIL DETAIL

1/2" = 1'-0"

PLANT LEGEND:

- KARL FORESTER FEATHER REED GRASS
"CALAMAGROSIS ACUTIFLORA" KARL FORESTER
(5 GALLON)
- ⊗ WEIGELA
WEIGELA FLORIDA 'VERWEIG'
(5 GALLON)
- SUNRISE WINTER CREEPER
EUONYMUS FORTUNEI 'SUNRISE'
- * BLUE WONDER DWARF ALBERTA SPRUCE
PICEA GLAUCA 'BLUE WONDER'



OVERALL ARCHITECTURAL SITE PLAN

1/16" = 1'-0"

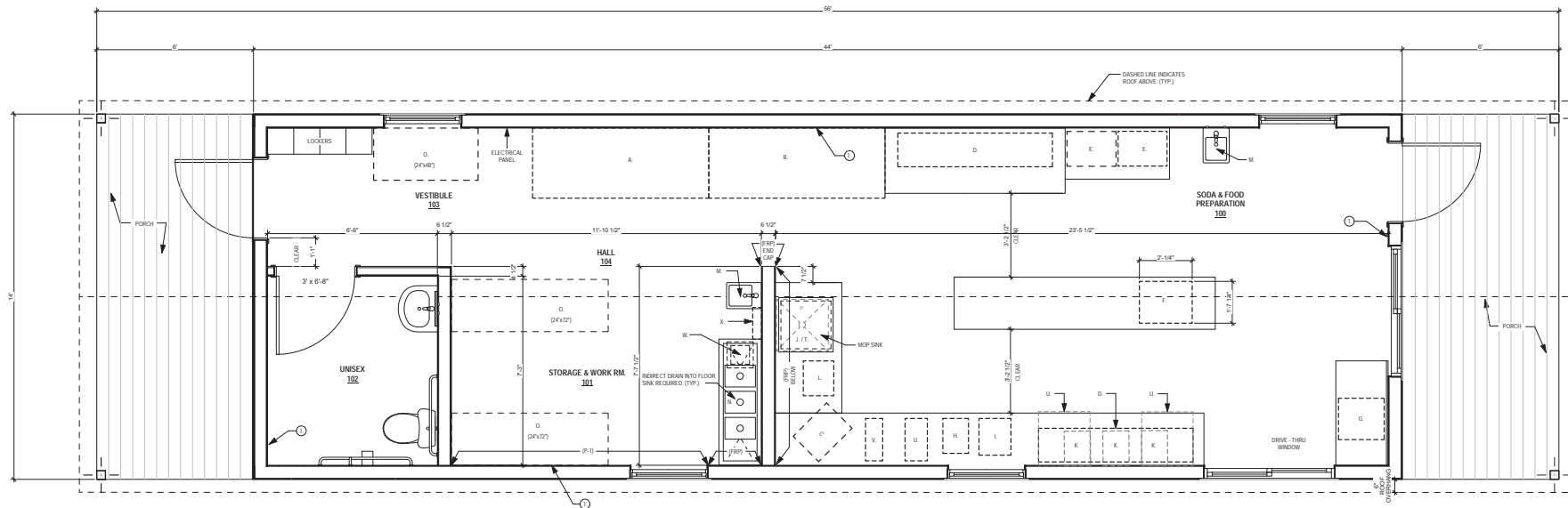
SITE PLAN NOTES:

- EXISTING CONCRETE APPROACH TO REMAIN.
 - EXISTING CONCRETE CURB, GUTTER AND SIDEWALK TO REMAIN. (TYP)
 - PROPERTY LINE. (TYP)
 - EDGE OF CONCRETE. (TYP)
 - NEW 6" CONCRETE APRON / APPROACH.
 - NEW CONCRETE CURB AND GUTTER. (TYP)
 - NEW 4" ASPHALT PAVING. (TYP)
 - NEW 7" CONCRETE APPROACH AND BY-PASS SIDEWALK. SEE CIVIL. TYP.
 - LOCATION OF PROPOSED UNDERGROUND ELECTRICAL SERVICE ENTRANCE TO BUILDING AND ELECTRICAL SERVICE DISCONNECT.
 - LOCATION OF FUTURE MONUMENT SIGN. SIGNAGE SHALL BE DESIGNED AND INSTALLED UNDER A SEPARATE CONTRACT WITH A SIGNAGE COMPANY. THE SIGNAGE COMPANY SHALL BE RESPONSIBLE FOR THE REQUIRED SUBMITTAL, APPROVAL AND PERMITTING. (TYP)
 - UNPAVED ALLEY. (TYP)
 - NEW 5" CONCRETE SIDEWALK. (TYP)
 - NEW PARKING LOT LIGHTING. H.E. WILLIAMS VA-1, 110740-T4-F-S-SLV-01M-UNV. 110W / 102V LED FIXTURE. PROVIDE MANUF. RECOMMENDED POLE BASE, AND 17" SQUARE STEEL POLE. VERIFY POLE HEIGHT WITH CITY OF CODY AND LIGHT PHOTOMETRICS. PLACE LIGHTS ON TIME CLOCK PHOTOCELL LOCATED ON NORTH SIDE OF THE BUILDING. (TYP)
 - EXTEND NEW WATER LINE AND TIE INTO EXISTING WATER MAIN LOCATED IN 18TH STREET. COORDINATE WITH CITY OF CODY TO TAP THE EXISTING LINE. INSTALL NEW 1" WATER METER IN ACCORDANCE WITH THE CITY OF CODY PUBLIC WORKS DEPARTMENT STANDARDS. (TYP)
 - LOCATION OF DUMPSTER.
 - NEW 4" SEWER LINE. EXTEND LINE FROM POINT WHERE THE SEWER EXITS THE BUILDING & TIE INTO THE EXISTING SANITARY SEWERLINE IN THE ALLEY. INSTALLATION, PIPING & MATERIALS SHALL MEET THE REQUIREMENTS OF THE CITY OF CODY. (TYP)
 - AREA TO BE PLANTED IN GRASS. THE CONTRACTOR SHALL GRADE THE AREA AS DEPICTED IN THE CIVIL ENGINEERING DRAWINGS. (TYP)
 - AREA TO BE LANDSCAPED WITH RIVER AND/OR DECORATIVE ROCK. THE ROCK SHALL BE A MIXTURE OF 3"-4" AND SHALL BE WASHED & CLEAN, FREE FROM DIRT, DEBRIS AND SAND. (TYP)
 - EXISTING UTILITY POLE AND TRANSFORMER TO REMAIN. (TYP)
 - PAINTED DIRECTIONAL ARROW FOR 'RIGHT' HAND TURN ONLY. (TYP)
 - STORM WATER DETENTION SWALE/POND. SEE CIVIL ENGINEERING DRAWINGS.
 - VRF CONDENSING UNITS. (TYP)
 - GUARD AND HAND RAILING AT RAMP AND PATION. (TYP)
 - CONCRETE VALLEY GUTTER. SEE CIVIL.
- TELEPHONE - T - T - T -
- GAS - G - G - G -
- SANITARY SEWER - SS - SS - SS -
- RAW WATER - - - - - RAW WATER -
- POTABLE WATER - - - - - POTABLE WATER -

LANDSCAPE GENERAL NOTES:

- ALL PROPOSED SHRUBS OR GROUND COVER PLANTING AREAS SHALL BE COVERED WITH 3 INCH THICK LAYER OF SHREDED ORGANIC MULCH OR LANDSCAPE ROCK. PRIOR TO MULCHING, ALL BEDS SHALL BE COVERED WITH FIBER MAT WEED BARRIER. BARK MULCH OR LANDSCAPE ROCK SHALL BE UNIFORM IN TEXTURE AND COLOR. NO UTILITY MULCH OR PROCESSED TREE TRIMMINGS SHALL BE ALLOWED.
- ALL LANDSCAPE PLANTING SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FOLLOWING FINAL INSPECTION BY THE ARCHITECT. AT THE END OF THIS PERIOD, PLANT MATERIAL TERMED DEAD OR UNSATISFACTORY BY THE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL COST BY THE CONTRACTOR.
- ALL IRRIGATION IN CONFLICT WITH THE PROPOSED WORK SHALL BE ADJUSTED OR RELOCATED AS REQUIRED.
- TREE DIAMETER/SIZE SHALL BE AS PER THE PLANT LEGEND ON THIS SHEET. ALL TREES SHALL HAVE A MULCH RING WITH A MINIMUM DEPTH OF 4".
- ALL PLANTINGS NEED TO BE PLACED IN SUCH A WAY SO THE TYPICAL ROOT ZONE DOES NOT INTERFERE WITH ANY EXISTING OR PROPOSED UTILITIES OR BUILDING FOUNDATIONS. (TYP)
- USE METAL STRIP EDGING WHERE GROUND COVER CHANGES.
- THE LANDSCAPE CONTRACTOR SHALL DESIGN AN IRRIGATION SYSTEM FOR ALL TREES, SHRUBS AND PLANTING BEDS. IN ORDER TO CONSERVE WATER AND INCREASE EFFICIENCY, THE SYSTEM SHALL UTILIZE DRIP IRRIGATION TO THE EXTENT POSSIBLE. ALL LAWN AREAS SHALL HAVE SPRINKLERS PLACED TO EFFICIENTLY WATER THE GRASS AND PREVENT EXCESS WATER FROM SPRAYING ON STREETS, PARKING LOTS AND BUILDINGS.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED SUCH THAT THE IRRIGATION SUPPLY LINE SHALL BE SEPARATE AND INDEPENDANT FROM THE BUILDING SERVICE LINE (POTABLE). THE IRRIGATION SUPPLY LINE SHALL TAP INTO AND EXTEND FROM THE RAW WATER SERVICE LINE LOCATED IN THE ALLEY. THE DESIGN SHALL INCORPORATE A SEPARATE SHUT OFF VALVE AND OTHER APPURTENANCES REQUIRED BY THE CITY OF CODY.





MAIN LEVEL FLOOR PLAN

1/2" = 1'-0"



EQUIPMENT SCHEDULE :

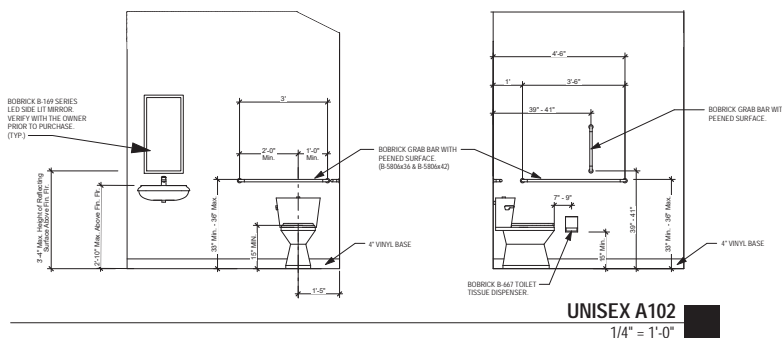
- A. **AVANTCO REFRIGERATOR**
(Model # 17055SRHC 115V/60 Hz, NEMA 5-15P Plug)
- B. **AVANTCO REFRIGERATOR**
(Model # 17055SRHC 115V/60 Hz, Single Phase / NEMA 5-20P / NEMA 5-20P Plug)
- C. **VEVOR SOFT SERVE ICE CREAM MAKER**
(Model A168, 110V / 1200 W)
- D. **KOOLMORE 7"1" REFRIGERATED COUNTERTOP CONDIMENT PREP RAIL SANDWICH STATION** (115 v, 1.6 amps)
- E. **DOUBLE PANIN SANDWICH GRILL / PRESS** (110V, 3.0kW)
- F. **PARAGON THEATER POP 12 OZ. POPPER** COMMERCIAL POPCORN MACHINE
(Model # 11131710 TP-12, 12 oz. popper 120V, 1700W, 15 amp)
- G. POINT OF SALE
- H. **MIDWA SIMONELLI ESPRESSO COFFEE MACHINE**
(110- 220V, 1200W)
- I. **AVANTCO 3 GALLON BEV. BEVERAGE DISPENSER**
(Model D3C-2 120V, 325W)
- J. **SERVEND SV-200 SELECTABLE SERIES BEVERAGE DISPENSER**
(Model # SV-200 120V, 60Hz, 2.8 FLA)
- K. **SYRUP RACK**
- L. **PARAGON PROFESSIONAL SNO CONE MACHINE**
(Model # 6133310, 120V, 15 amp circuit - Dedicated Outlet)
- M. **HAND WASH SINK**
- N. **TOILET COMPARTMENT SINK** - REQUIRED TO BE INDIRECT DRAINED INTO FLOOR SINK (W)
- O. **DRY STORAGE WIRE SHELVING**
- P. **MOP SINK**
- Q. **CLEANING SUPPLIES**
- R. **1/2" WIDE TRIPLE TIER VENTED METAL EMPLOYEE LOCKERS**
- S. **BID RACK & CO.**
- T. **MAINTENANCE REPAIR JUGGET ICE MACHINE**
(Model R10P222 110V/60Hz/Single Phase Min. Circuit Ampacity 7.5amps, Max. Fuse Size, 15 amp.)
- U. **UNDER COUNTER REFRIGERATOR**
- V. **BUNN ICED TEA BREWER**
(Model 17B-UP, 120V W/ DISPLAY 120V/14 Amps/1700 Watt/Single Phase)
- W. **FLOOR SINK**
(Model FD02375 A.R.E. FLOOR SINK 4" SUMP DEPTH)
- X. **ELECTRIC HOT WATER HEATER**
(Tankless Water Heater, Single Phase)

ROOM FINISH SCHEDULE									
RM. NO.	RM. NAME	FLOOR	BASE	NORTH	EAST	SOUTH	WEST	CEILING FINISH	COMMENTS
103	SODA & FOOD PREP	SHT. VINYL	VB	FIBRO-1	P-1	P-1	P-1	PAINTED CVP. BD. (P-1)	SEE ROOM FINISH SCHEDULE FOR WALL FINISH REQUIREMENTS.
101	STOR. & WORK RM.	SHT. VINYL	VB	P-1	P-1	FIBRO-1	FIBRO-1	PAINTED CVP. BD. (P-1)	SEE ROOM FINISH SCHEDULE FOR WALL FINISH REQUIREMENTS.
102	UNISEX	SHT. VINYL	VB	P-1	P-1	P-1	P-1	PAINTED CVP. BD. (P-1)	SEE ROOM FINISH SCHEDULE FOR WALL FINISH REQUIREMENTS.
103	VESTIBULE	SHT. VINYL	VB	P-1	P-1	P-1	P-1	PAINTED CVP. BD. (P-1)	SEE ROOM FINISH SCHEDULE FOR WALL FINISH REQUIREMENTS.
104	HALL	SHT. VINYL	VB	P-1	P-1	P-1	P-1	PAINTED CVP. BD. (P-1)	SEE ROOM FINISH SCHEDULE FOR WALL FINISH REQUIREMENTS.

VB: VINYL BASE, MANUFACTURER: ROPPE OR APPROVED EQUAL, COLOR: AS SELECTED BY THE OWNER.
 LA: EPOXY COATING, INTERIOR WATER BASE, MANUFACTURER: SHERWIN WILLIAMS KENWIL, COLOR: AS SELECTED BY THE OWNER.
 GR: FIBROGLASS REINFORCED PLASTIC, MANUFACTURER: MANULIFE STANDARD FIBRO, COLOR: AS SELECTED BY THE OWNER.
 SHT VINYL: SHEET VINYL FLOORING - WELDED SEAMS, MANUFACTURER: ARBUSTON FLOORING, MANUFACTURER: SHAW, COLOR: AS SELECTED BY THE OWNER.

FLOOR PLAN NOTES:

- 1/2" GYPSUM WALL BOARD OVER EXISTING 2x4 WOOD STUDS. MUD, TAPE AND TEXTURE. SEE ROOM FINISH SCHEDULE FOR WALL FINISH REQUIREMENTS.
- UTILITY SERVICES, PANELS, METERS, ETC. TO BE PROVIDED & LOCATED AS REQUIRED BY SITE, CODE AND UTILITY COMPANIES - VERIFY.
- THE CONTRACTOR SHALL SECURE & PAY FOR ALL BUILDING PERMITS & HOOK UP FEES.
- PROVIDE ADDRESS NUMBERS AS REQUIRED BY THE CODY FIRE DEPARTMENT.



UNISEX A102

1/4" = 1'-0"

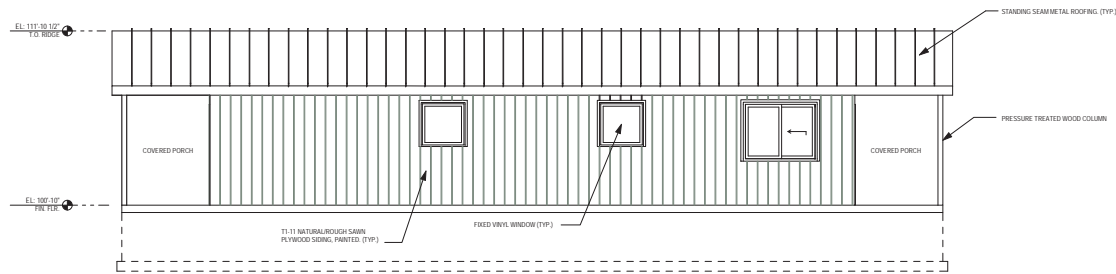


POINT
ARCHITECTS

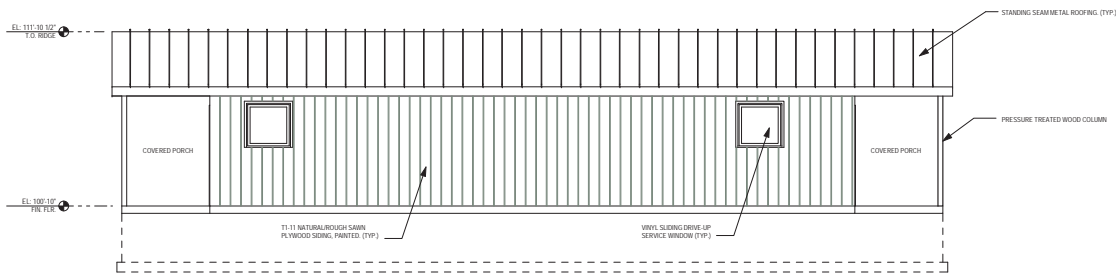
301 E. 10th Street
Cody, WY 82401
P: 307.557.2777
F: 307.557.2778
www.pointarchitects.com

DATE: 08/22
SCALE: 1/4" = 1'-0"
FILE: Sweet's Soda Prep Shop
BY: JRM

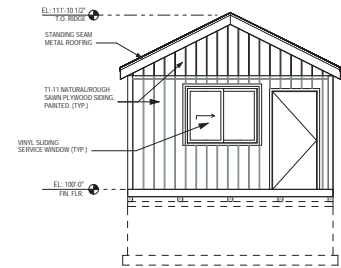
A1.1



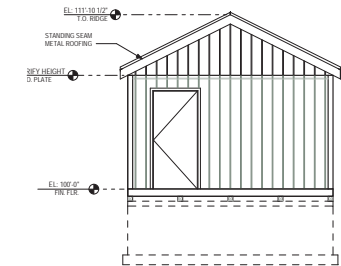
WEST ELEVATION AT DRIVE-THRU
1/4" = 1'-0"



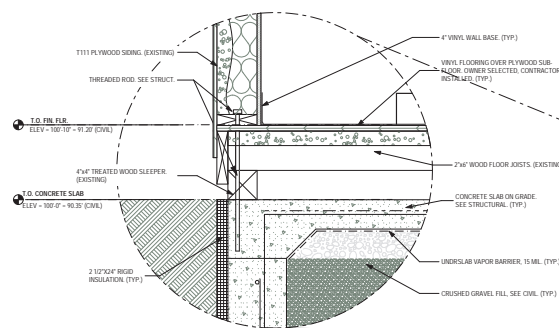
EAST ELEVATION
1/4" = 1'-0"



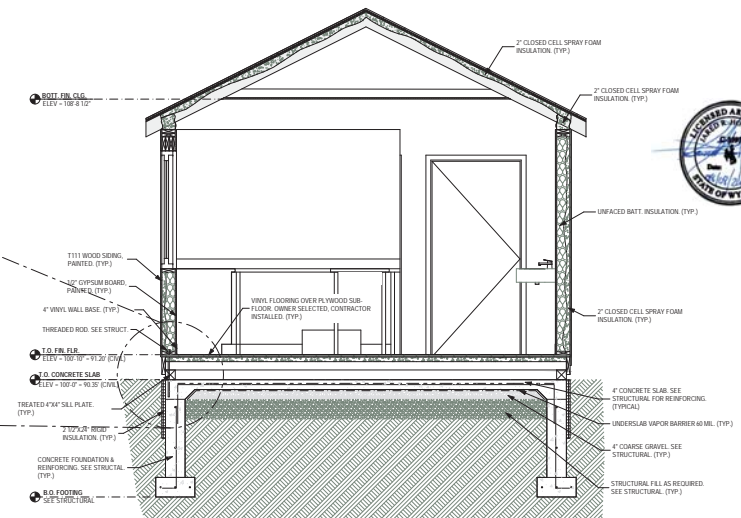
SOUTH ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"



SILL DETAIL
1 1/2" = 1'-0"



OVERALL BUILDING SECTION
1/2" = 1'-0"



POINT ARCHITECTS

301 E. 10th Street
Cody, WY 82401
P.O. Box 1885
Cody, WY 82401
P: 307.571.0000
www.pointarchitects.com

DATE: REV: 08/22
SCALE: 1/2" = 1'-0"

FILE: Sweet's Soda Pop Stand (REV. 08/22)

A2.1

SWEET'S SODA SHOPPE
1831 SHERIDAN AVE., CODY WY 82414

DESIGN CRITERIA

1. **CODES AND STANDARDS**
- A. INTERNATIONAL BUILDING CODE (IBC) 2021
- B. ASCE/SEI 1-16 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
- C. ACI 318-19 RESIDENTIAL CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
- D. NDS 2018 EDITION NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION
2. **DEAD, LIVE AND SNOW LOADS**
- A. DEAD LOADS
- FLOOR = 20 PSF
 - ROOF = 15 PSF
- B. LIVE LOADS
- FLOOR = 40 PSF
 - ROOF = 20 PSF
- C. SNOW LOADS
- GROUND SNOW (Ps) = 30 PSF
 - DESIGN FLAT ROOF SNOW (P_f) = 30 PSF (UNREDUCABLE)
3. **WIND AND SEISMIC DESIGN CRITERIA**
- A. WIND LOAD DESIGN CRITERIA:
- BASIC ULTIMATE WIND SPEED = 115 MPH
 - BASIC NOMINAL WIND SPEED = 89 MPH
- B. SEISMIC LOAD DESIGN CRITERIA:
- SEISMIC DESIGN CATEGORY = B
 - SITE CLASS = D

GENERAL NOTES & REQUIREMENTS

1. **COORDINATION AND USE OF DRAWINGS**
- A. STRUCTURAL DRAWINGS ARE NOT STAND ALONE DOCUMENTS AND ARE INTENDED TO BE USED IN CONJUNCTION, AND COORDINATED WITH, DRAWINGS SUPPLIED BY OTHER DISCIPLINES (I.E., ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, CIVIL, ETC.). THE CONTRACTOR SHALL COORDINATE ALL REQUIREMENTS SHOWN WITHIN THE CONTRACT DOCUMENTS INTO SUBMITTALS, SHOP DRAWINGS AND WORK.
- B. DO NOT SCALE STRUCTURAL DRAWINGS.
- C. THE CONTRACTOR SHALL COORDINATE QUANTITIES, LOCATIONS AND DIMENSION OF OPENINGS, BLOCK OUTS, DEPRESSIONS, ETC. IN BOTH VERTICAL AND HORIZONTAL CONSTRUCTION WITH DRAWINGS SUPPLIED BY OTHER DISCIPLINES AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK.
- D. REFER TO ARCHITECTURAL PLANS FOR INTERIOR, NON-STRUCTURAL PARTITION TYPES AND LOCATIONS. FASTEN PARTITIONS TO PRIMARY STRUCTURE IN SUCH A MANNER AS TO ALLOW VERTICAL LIVE LOAD DEFLECTIONS OF a) L/360 AT FLOOR MEMBERS AND b) L/240 AT ROOF MEMBERS.

FOUNDATIONS

1. **FOUNDATION DESIGN CRITERIA**
- A. FOUNDATION DESIGN IS BASED ON THE PRESUMPTIVE LOAD BEARING VALUES OF SOILS AS PRESCRIBED IN SECTION 1806 OF THE 2018 IBC.
- ALLOWABLE BEARING PRESSURE = 1500 PSF
 - FROST DEPTH = 42 INCHES
 - SITE CLASS = D
2. **EXISTING SITE CONDITIONS**
- A. ALL UTILITIES SHALL BE LOCATED PRIOR TO EXCAVATION. IF UTILITIES ARE DISCOVERED WITHIN THE BUILDING PAD FOOTPRINT, CONTACT ARCHITECT & ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- B. ALL EXISTING SOILS CONTAINING VEGETATION, ORGANIC MATTER OR OTHER FOREIGN DEBRIS SHALL BE REMOVED FROM THE BUILDING PAD FOOTPRINT.
3. **SUBGRADE PREPARATION**
- A. ALL FOOTINGS & FOUNDATIONS SHALL BEAR ON UNDISTURBED NATIVE SOIL.
- B. ALL SLABS ON GRADE WITHIN THE BUILDING FOOTPRINT SHALL BEAR ON A 0'-4" AGGREGATE BASE COURSE OVER PROPERLY COMPACTED STRUCTURAL FILL.
4. **OPEN HOLE INSPECTIONS**
- A. OPEN HOLE INSPECTIONS ARE NOT PROVIDED BY ELEVATION STRUCTURAL DESIGN AND ARE THE RESPONSIBILITY OF THE CONTRACTOR OR OWNER.
- B. AN ENGINEER, LICENSED IN THE STATE OF WYOMING, SHALL BE OBTAINED TO PROVIDE THE OPEN HOLE INSPECTION AND VERIFY THAT THE ON-SITE SOIL CONDITIONS MEET OR EXCEED FOUNDATION DESIGN CRITERIA SHOWN ABOVE. IF THE ON-SITE SOIL CONDITIONS DO NOT MEET OR EXCEED THE FOUNDATION DESIGN CRITERIA, CONTACT THE ARCHITECT & ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

CONCRETE NOTES & SPECIFICATIONS

1. **GENERAL**
- A. ALL WORK SHALL CONFORM WITH ACI 301, LATEST EDITION.
2. **CONCRETE MATERIALS AND MIX DESIGNS**
- A. CONCRETE MIX DESIGNS FOR FOOTINGS & FOUNDATION WALLS SHALL MEET THE FOLLOWING REQUIREMENTS:
- MINIMUM COMPRESSIVE STRENGTH (F_c) = 4500 PSI AT (28) DAYS
 - PORTLAND CEMENT (ASTM C150) = TYPE III
 - NORMAL WEIGHT AGGREGATES (ASTM C33) = 3/4" MAX
 - AIR CONTENT = 6% ± 1%
- B. CONCRETE MIX DESIGNS FOR SLABS ON GRADE SHALL MEET THE FOLLOWING REQUIREMENTS:
- MINIMUM COMPRESSIVE STRENGTH (F_c) = 3500 PSI AT (28) DAYS
 - PORTLAND CEMENT (ASTM C150) = TYPE III
 - NORMAL WEIGHT AGGREGATES (ASTM C33) = 3/4" MAX
 - AIR CONTENT = NO ENTRAINED AIR
- C. **CONCRETE MIX DESIGN NOTES:**
1. THE CONTRACTOR SHALL PROPORTION MIX DESIGNS TO CONFORM WITH THE REQUIREMENTS SHOWN IN THE CONCRETE MIX DESIGN TABLE. IF REQUIRED, ADJUST THE MIXES SLUMP TO ACHIEVE THE CONSISTENCY AND WORKABILITY REQUIRED FOR THE MEANS AND METHODS OF PLACEMENT. THE USE OF ADMIXTURES CONFORMING TO ASTM C494 IS ACCEPTABLE.
2. PROVIDE TYPE III PORTLAND CEMENT IN ALL MIX DESIGNS, UNLESS NOTED OTHERWISE. PORTLAND CEMENT SHALL CONFORM TO ASTM C150.
- a. IT IS PERMISSIBLE TO PROVIDE FLY ASH IN MIX DESIGNS, DO NOT EXCEED 25% OF TOTAL CEMENTITIOUS MATERIALS. FLY ASH SHALL CONFORM TO ASTM C681.
3. PROVIDE NORMAL WEIGHT AGGREGATE, CONFORMING TO ASTM C33, FOR ALL MIX DESIGNS UNLESS NOTED OTHERWISE.
- a. AGGREGATES USED SHALL BE EVALUATED FOR THE POTENTIAL FOR ALKALI-SILICA REACTIVITY. IF AGGREGATES ARE FOUND TO BE POTENTIAL REACTIVE, MIX DESIGN SHALL INCORPORATE MEANS TO CONTROL REACTIVITY. REFER TO THE PORTLAND CEMENT ASSOCIATION'S GUIDE SPECIFICATION FOR CONCRETE SUBJECT TO ALKALI-SILICA REACTION.
4. THE USE OF ENTRAINED AIR ADMIXTURES IS NOT PERMITTED IN SLABS ON GRADE.
3. **CONCRETE REINFORCING**
- A. **REINFORCING MATERIALS:**
- TYP REINFORCING = ASTM A615
 - DEFORMED WELDED WIRE FABRIC = ASTM A497
- B. FABRICATE ALL REINFORCING IN ACCORDANCE WITH THE ACT DETAILING MANUAL.
- C. THE CONTRACTOR SHALL PROVIDE ALL ACCESSORIES (I.E., CHAIRS, STANDEES, TIES, STRUTS, ETC.) REQUIRED TO SECURE REINFORCEMENT DURING CONCRETE PLACEMENT.
4. **PLACEMENT**
- A. **REINFORCEMENT PLACEMENT:**
1. ALL REINFORCING MUST BE SECURED INTO PLACE PRIOR TO CONCRETE PLACEMENT. WET STABBING OF REINFORCEMENT IS NOT PERMITTED.
2. FIELD BENDING OF REINFORCEMENT IS NOT PERMITTED EXCEPT WHERE SPECIFICALLY CALLED OUT IN THE CONTRACT DOCUMENTS. ALL REINFORCEMENT SHALL BE BENT COLD.
- B. **CONCRETE PLACEMENT**
1. ALL FORMWORK SHALL BE PLACED WITHIN THE TOLERANCES DESCRIBED IN ACI 301, LATEST EDITION.
2. ALL FORMWORK SHALL BE CLEAN AND FREE OF RUST & DEBRIS PRIOR TO PLACEMENT OF CONCRETE.
3. PLACE CONCRETE IN A SINGLE, CONTINUOUS OPERATION WHERE POSSIBLE. WHERE CONSTRUCTION JOINTS (COLD JOINTS) ARE REQUIRED, PROVIDE A KEYED JOINT PER TYPICAL DETAILS.
4. CONSOLIDATE CONCRETE BY MECHANICAL VIBRATION, RODDING AND TAMPING IN ACCORDANCE WITH ACI 309R.
5. HOT WEATHER PROTECTION (PER ACI 309):
- a. MAINTAIN CONCRETE TEMPERATURE BELOW 90°F AT TIME OF PLACEMENT. CHILLED WATER OR CHIPPED ICE MAY BE USED PROVIDED THAT THE VOLUME IS ACCOUNTED FOR IN THE MIX DESIGN.
 - b. FOG-SPRAY FORMS, REINFORCING AND SUBGRADE IMMEDIATELY PRIOR TO PLACEMENT OF CONCRETE. DO NOT OVER-SATURATE SUBGRADE.
6. COLD WEATHER PROTECTION (PER ACI 309):
- a. WHEN THE AVERAGE TEMPERATURE IS EXPECTED TO FALL BELOW 40°F FOR (3) SUCCESSIVE DAYS, MAINTAIN CONCRETE MIX TEMPERATURE WITHIN THE RANGE REQUIRED BY ACI.
 - b. DO NOT USE FROZEN MATERIALS OR MATERIALS CONTAINING ICE AND SNOW IN MIX DESIGN. DO NOT PLACE CONCRETE ON FROZEN SUBGRADE.
 - c. DO NOT USE CALCIUM CHLORIDE, SALT OR OTHER MATERIALS CONTAINING ANTIFREEZE AGENTS OR CHEMICAL ACCELERATORS.
5. **CONCRETE FINISHING AND CURING**
- A. **CONCRETE FINISHING**
1. FORMED SURFACES
- a. PROVIDE EXPOSED ROUGH FORM FINISH. REMOVE ALL FINL PROJECTIONS AND REPAIR ALL OTHER DEFECTS INCLUDING ROCK POCKETS (HONEYCOMBING).
2. EXPOSED SLABS & SLABS RECEIVING ADHESIVE FLOORING
- a. FLOAT FINISH CONCRETE TO PROVIDE STRAIGHT & UNIFORM SLAB SURFACE. PROVIDE STEEL TROWEL FINISH. CONTINUE TROWELING PASSES UNTIL SURFACE IS UNIFORM AND FREE OF TROWEL MARKS. GRIND DOWN ANY SURFACE DEFECTS TO SATISFACTION OF ARCHITECT & OWNER.
3. SLABS RECEIVING BROOM FINISH
- a. FLOAT FINISH CONCRETE TO STRAIGHT & UNIFORM SLAB SURFACE. IMMEDIATELY AFTER FLOAT FINISHING, SLIGHTLY ROUGHEN CONCRETE SURFACE FIBRE-BRISTLE BROOM PERPENDICULAR TO MAIN TRAFFIC PATTERN. COORDINATE FINAL FINISH WITH ARCHITECT.
- B. **CONCRETE CURING**
1. PROTECT CONCRETE FROM PREMATURE DRYING AND EXCESSIVELY HOT OR COLD TEMPERATURES.
2. FORMED SURFACES
- a. CURE IN FORMS
3. SLABS RECEIVING ADHESIVE FLOORING
- a. MOIST CURE OR PROVIDE MOISTURE RETAINING COVER CURING MATERIAL.
 - b. DO NOT USE SPRAY APPLIED CURING COMPOUNDS UNLESS SPECIFICALLY ALLOWED BY FLOORING MANUFACTURER.
4. EXPOSED SLABS
- a. PROVIDE CURING COMPOUND OR CURING AND SEALING COMPOUND. APPLY IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

WOOD FRAMING REQUIREMENTS

1. **GENERAL**
- A. CONNECTIONS NOT SPECIFICALLY DETAILED WITHIN THESE DRAWINGS SHALL BE IN ACCORDANCE WITH TABLE B203.3.1 OF THE IRC.
- B. OPENINGS, NOTCHES, HOLES, ETC., SHALL NOT BE PLACED IN LUMBER AND/OR SHEATHING WITHOUT PRIOR WRITTEN CONSENT FROM THE ENGINEER.
2. **FRAMING LUMBER AND MATERIALS**
- A. ALL FRAMING LUMBER AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED BELOW, UNLESS SPECIFICALLY NOTED OTHERWISE WITHIN THE PLANS AND DETAILS.
- B. **SOLID SAWN LUMBES**
- DIMENSION LUMBER (2" - 4" THICK) = HEM-FIR (HF) #2 OR BETTER
 - TIMBERS (4" THICK & GREATER) = DOUGLAS-FIR (DF) #1 OR BETTER
- C. STRUCTURAL SHEATHING (WOOD STRUCTURAL PANELS USED FOR WALL, FLOOR OR ROOF SHEATHING) SHALL CONFORM TO THE REQUIREMENTS FOR THEIR TYPE IN DOC PS 1 & DOC PS 2).
3. **METAL FRAMING CONNECTORS**
- A. SIMPSON STRONG-TIE METAL FRAMING CONNECTORS ARE USED FOR THE BASIS OF DESIGN. ALL METAL CONNECTORS CALLED OUT IN PLANS & DETAILS ARE MANUFACTURED BY SIMPSON STRONG-TIE.
- B. ALL METAL FRAMING CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. FILL ALL NAIL AND/OR BOLT HOLES, INCLUDING OPTIONAL LOCATIONS FOR UPLIFT FORCES.



REVISIONS

NO.	DATE	DESCRIPTION
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DRAWING INFORMATION

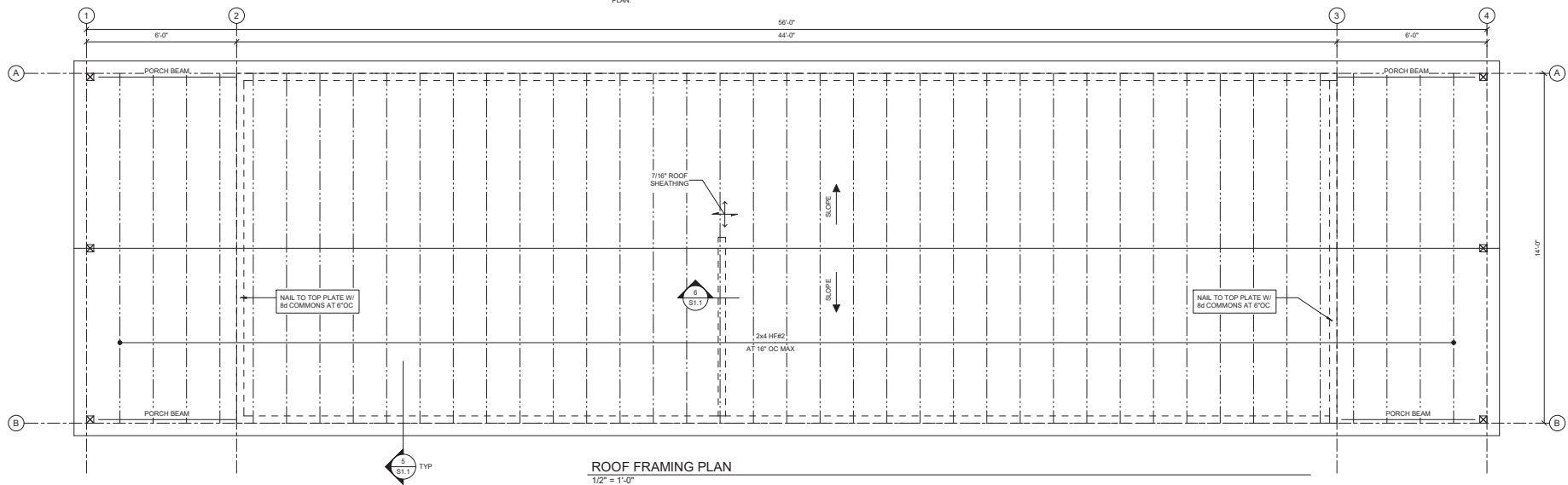
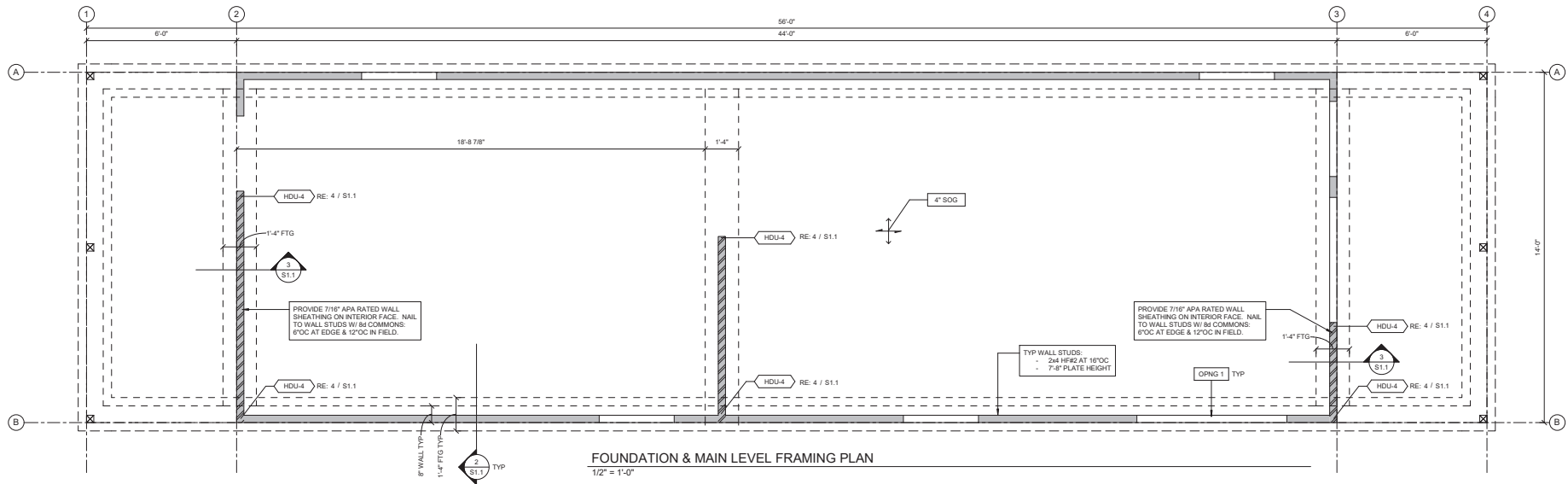
PROJECT NO: 22-XX

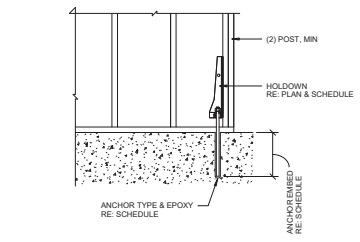
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ISSUE DATE: Issue Date

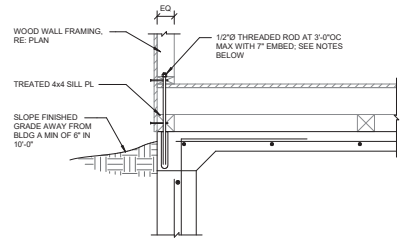
GENERAL NOTES

S0.1





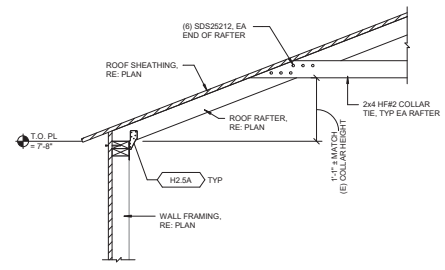
HOLDOWN		JAMB		ANCHOR	
TYPE	JAMB & TYPE	SCREWS	SIZE	EMBED	EPOXY
HDU4	(2) 2x6 HF#2	(10) 1/4"x2 1/2" SDS	5/8"x9	9"	SIMPSON SET-XP



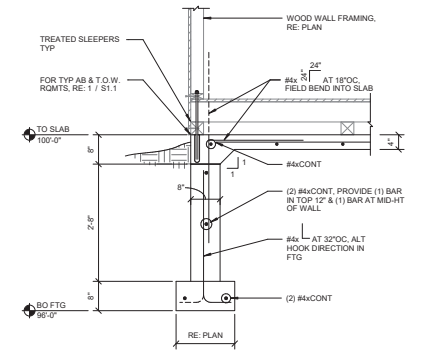
- ANCHOR BOLT NOTES**
1. PROVIDE (1) ANCHOR BOLT 8" - 12" FROM END OF SILL PL, TYP.
 2. PROVIDE A MIN OF (2) ANCHOR BOLTS PER SILL PL, TYP.
 3. ANCHOR BOLTS SHALL BE LOCATED WITHIN THE MIDDLE 1/3 OF THE SILL PL.
 4. PROVIDE A NUT & WASHER AT EA ANCHOR BOLT.

4 WOOD SHEAR WALL HOLDOWN
NO SCALE

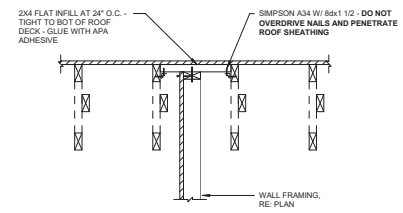
1 TYP ANCHOR BOLT & T.O.W. RQMTS
NO SCALE



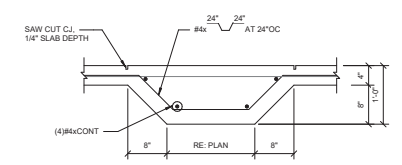
5 TYP RAFTER BEARING
NO SCALE



2 TYP FOUNDATION WALL
NO SCALE



6 INT SHEARWALL BLOCKING
NO SCALE

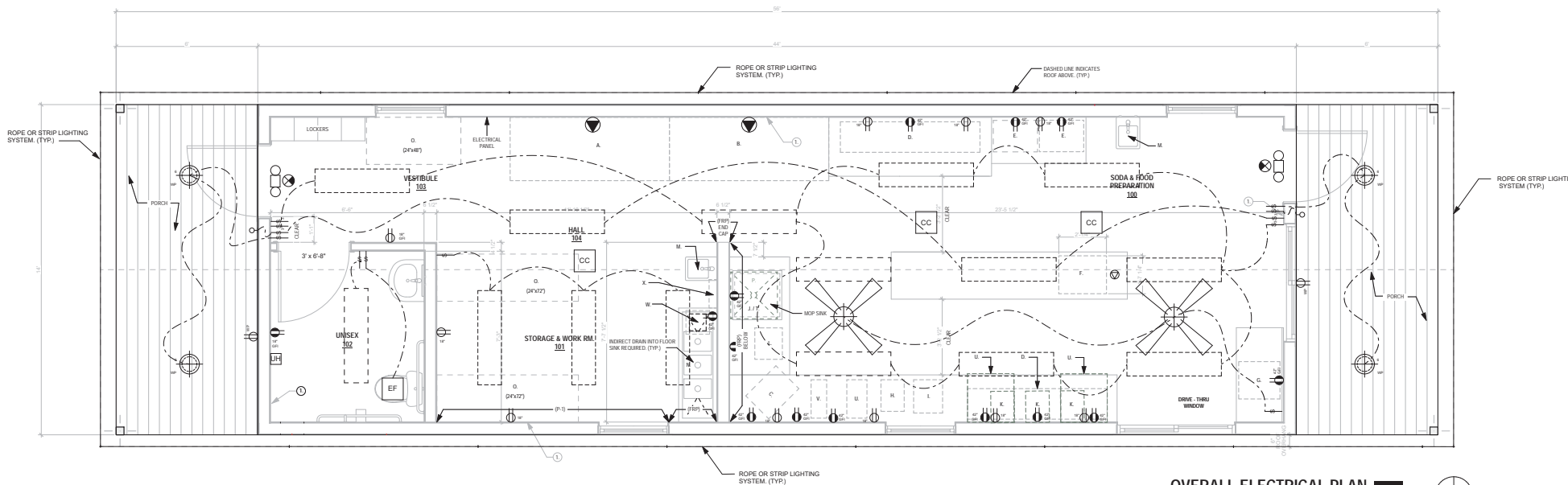


3 TYP THICKENED SLAB
NO SCALE



REVISIONS		
NO.	DATE	DESCRIPTION

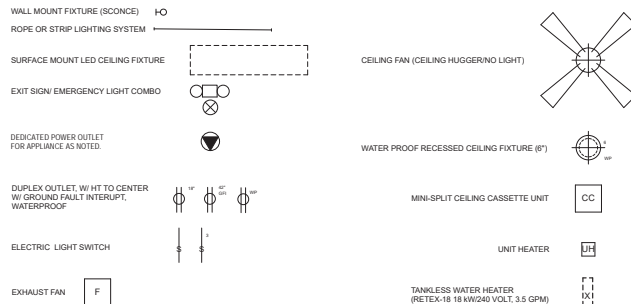
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PROJECT NO.	22.XX
DRAWN BY:	JD
ISSUE DATE:	Issue Date
FOUNDATION & FRAMING DETAILS	



EQUIPMENT SCHEDULE :

- A. **AVANTCO REFRIGERATOR**
(Model # 178553RHC, 115V/60 Hz, NEMA 5-15P Plug)
- B. **AVANTCO REFRIGERATOR**
(Model # 178553RHC, 115V/60 Hz, Single Phase / NEMA 5-20P NEMA 5-20P Plug)
- C. **VEVOR SOFT SERVE ICE CREAM MAKER**
(Model # 110V, 1200 W)
- D. **KOLONGER - 7" REFRIGERATED COUNTERTOP CONDIMENT PREP RAIL SANDWICH STATION** (115 v, 1.6 amp)
- E. **DOUBLE PANINI SANDWICH GRILL / PRESS** (110V, 3 kW)
- F. **PARAGON THEATER POP 12 OZ. POPPER - COMMERCIAL POPCORN MACHINE**
(Model # 1112110 TP-12, 12 oz. popper 120V, 1700W, 15 amp)
- G. POINT OF SALE
- H. **NUOVA SIMONELLI ESPRESSO COFFEE MACHINE**
(110 - 230V, 1200W)
- I. **AVANTCO 3 GALLON BOWL REF. BEVERAGE DISPENSER**
(Model 03G-2 120V, 125W)
- J. **SERVEND 50-200 SELECTABLE SERIES ICE BEVERAGE DISPENSER**
(Model # 50-200 120V, 60W, 2.8 FLA)
- K. **STIRUP BACK**
- L. **PARAGON PROFESSIONAL SNO CONE MACHINE**
(Model # 1112110, 120V, 15 amp, 1200W, 125W)
- M. **HAND WASH SINK**
- N. **10 COMPARTMENT SINK - REQUIRED TO BE INDIRECT DRAIN INTO FLOOR SINK (M)**
- O. **DRY STORAGE WIRE SHELVING**
- P. **MOP SINK**
- Q. **CLEANING SUPPLIES**
- R. **12" WIDE, TRIPLE TIER VENTED METAL EMPLOYEE LOCKERS**
- S. **BID BACK & CO2**
- T. **MANTONOC IMP1020 NUGGET ICE MACHINE**
(Model RMP1020 115V/60Hz/Single Phase Min. Circuit Ampacity 7.5amps, Max. Fuse Size: 15 amp.)
- U. **UNDER COUNTER REFRIGERATOR**
- V. **BUNN ICED TEA BREWER**
(Model 17B-LP, 120V W/ DISPLAY 120V/14 Amps/7000 Watt/Single Phase)
- W. **ZUBIN FLOOR SINK**
(Model F00375 A.S.E. FLOOR SINK 6" SUMP DEPTH)

ELECTRICAL SYMBOLS LEGEND



POINT ARCHITECTS

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DATE 08/22
SCALE
FILE Sweet's Soda Shoppe
DWG 001

E1.1