

CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
TUESDAY JUNE 28, 2022
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

1. Call meeting to order
2. Roll Call, excused members
3. Pledge of Allegiance
4. Approval of Agenda for the June 28, 2022 meeting.
5. Approval of Minutes from the June 14, 2022 special meeting.
6. New Business:
 - A. Request to delay installation of parking for Cody Stampede Rodeo grounds.
 - B. Fence Height waiver for a 6-foot-tall cedar privacy fence in the front yard of 821 Canyon Avenue.
 - C. Final Plat the for the Dansie Minor Subdivision, located at 140 Robertson Street.
 - D. Final Plat and Construction Plans for the West Avenue Duplexes Subdivision.
7. P & Z Board Matters (announcements, comments, etc.)
8. Council Update
9. Staff Items
10. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

City of Cody
Planning, Zoning, and Adjustment
Board Meeting June 14, 2022

A meeting of the City of Cody Planning, Zoning and Adjustment Board was held in the Council Chambers of City Hall in Cody, Wyoming on Tuesday, June 14, 2022 at 12:00 pm.

Carson Rowley called the meeting to order at 12:03 pm, followed by the pledge of allegiance.

Present: Scott Richard; Karinthia Herweyer; Carson Rowley; Ian Morrison; Mathew Moss; City Deputy Attorney Sandee Kitchen; City Planner Todd Stowell; Council Liaison Andy Quick; GIS Analyst Utana Dye

Absent: Cayde O'Brien; Andrew Murray

Ian Morrison moved to approve the agenda for June 14, 2022, seconded by Scott Richard. Vote on the motion was unanimous, motion passed.

Karinthia Herweyer moved to approve the minutes from the May 31, 2022 meeting, seconded by Ian Morrison. Vote on the motion was unanimous, motion passed.

Scott Richard recused himself from the discussion on this item.

City Planner Todd Stowell reviewed the staff report for the architectural modifications to 1239 and 1243 Rumsey Avenue. The proposal would be to replace many of the exterior coverings of the building and provide new storefront curtain windows and picture windows, and metal box canopies over the first-floor windows and entry doorway.

Ian Morrison made a motion, second by Matt Moss to approve the exterior modifications to the building at 1239 and 1243 Rumsey Avenue as proposed. Vote on the motion was unanimous, motion passed.

Todd Stowell reviewed the site plan review for the Yellowstone Regional Airport Terminal Expansion located at 2101 Roger Sedam Drive.

The proposed plan is for a 10,106-square-foot expansion to the east end of the main terminal building at the airport. The expansion includes additional waiting area, ticket counters, offices, baggage screening, and storage.

Scott Richard made a motion, seconded by Ian Morrison to approve the proposal for the expansion of the Yellowstone Regional Airport, with conditions 1-3. Vote was unanimous, motion passed.

P & Z Board Matters-Karinthia announced that her due date is approaching and she will need to be excused from some upcoming meetings, likely starting in late July.

Council Matters-None

Staff Items- Todd asked the board members about their future schedule, so that he can schedule the public process/public hearing on the potential zoning ordinance changes. He asked them to email when they are going to be gone during the month of July and August.

Ian Morrison made a motion, seconded by Scott Richard to adjourn the meeting. Vote on the motion was unanimous. The meeting was adjourned at 12:24 pm.

Utana Dye

Utana Dye, GIS Analyst

CITY OF CODY PLANNING, ZONING AND ADJUSTMENT BOARD STAFF REPORT

MEETING DATE:	JUNE 28, 2022	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	REQUEST TO DELAY INSTALLATION OF PARKING FOR CODY STAMPEDE RODEO GROUNDS.	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

BACKGROUND:

The Cody Stampede is constructing a deck area at the east end of the rodeo arena at 519 West Yellowstone Avenue. The City parking regulations, in 10-16-4, state:

"Any building or use that is hereafter enlarged, or increased in capacity through physical expansion or conversion of an area to a use with an increased parking demand (e.g., conversion of storage to commercial floor space, addition of dwelling units, utilization of vacant land for business purposes), shall provide parking as required for the increase in area or capacity."

Parking improvements are to be installed and completed as shown on the approved plans prior to occupancy of the building, structure or use served by the parking facilities; provided, a performance bond in the amount of the remaining value of construction shall be provided to postpone installation of pavement or concrete work for up to one hundred fifty (150) days when cold weather precludes such work."

A conceptual parking plan has been developed, as shown here.



The deck will have a capacity of about 200 persons. Depending on the ratio used, that will mean either 34 or 66 parking spaces are required. As stated, the parking regulations require the parking to be installed before occupancy of the associated building or use. The Cody Stampede Board is requesting a delay in improving the parking area to City standards (i.e. installing surfacing and wheel stops). The deck area that triggers the parking improvements is planned to be occupied starting June 30th.

The primary reason for delay is that the Cody Stampede has a larger plan to redevelop and expand the parking facilities at the rodeo grounds. Later this fall or next spring (before next season), the existing asphalt parking lot will be reconstructed and the asphalt millings from that will be used as surfacing for this and likely other parking areas. Therefore, to avoid installing gravel at this time only to remove it as part of the larger project before next season, they have made the request.

RECOMMENDATION:

Allow for the delay of the additional parking, so that it can occur after this season, but before the start of next rodeo season.

NOTICE: As outlined in the City's parking regulations, the property owner will need to submit a parking plan for the revised parking lot and the expansion, which parking lot revision and expansion will need to comply with all applicable parking regulations. Coordinate with the City early in the process so that all regulations are identified and fully addressed well before scheduled construction. See Title 10, Chapter 16 of the City code.

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	JUNE 28, 2022	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	REQUEST FOR A 6-FOOT-TALL PRIVACY FENCE IN THE FRONT YARD OF 821 CANYON AVENUE.	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

The City of Cody has received a request for a fence height waiver requesting permission to install a 6-foot-tall cedar privacy fence in the front yard of 821 Canyon Avenue, as depicted on the drawing. Privacy fences over four feet in height in the front yard require a height waiver from the Planning and Zoning Board.

The applicant states that the fence would be installed on only the western third of the property, and approximately 13 feet from the curb along Canyon Avenue. Staff believes the property line to be about 8 feet from the curb, so the fence would be about five feet within the property. The applicant has provided a letter outlining their reasoning why the approval should be granted—see attached.



REVIEW PROCEDURE:

Section 9-4-1(E)(1) of the City of Cody Code states that the Planning and Zoning Board may approve a fence taller than that specified when the additional height will not have any adverse impacts to neighboring properties or the public health and safety.

The review process requires the applicant to notify owners of the adjacent lot(s) of the request and allow them up to ten (10) days to provide comments. The applicant has provided written notice to the owners of the three properties to the south and west that would be adjacent to the proposed fence. The owners to the south have responded that they support the request. The owner to the west has not responded as of the time of this staff report.

STAFF ANALYSIS:

The fact that the fence would only be on about a third of the property frontage, and removed about nine feet from the edge of the sidewalk greatly minimizes the visual impact of the proposal. It is also noted that the property to the west (Sierra Trading Post) is zoned General Business (D-2), and contains a parking area. Therefore, there is no residential neighbor immediately next to the fence. The fence is far enough back from the street (13') that sight distance at the Sierra Trading Post exit should not be an issue.

The review language in the ordinance is that there should be no adverse impacts to neighboring properties or the public health and safety. No impacts have been identified due to the distance from the street and from neighboring properties.

ALTERNATIVES:

Approve or deny the request for a requested privacy fence.

RECOMMENDATION:

Approve the height waiver to allow the 6-foot privacy fence in the front yard of 821 Canyon Avenue as depicted on the site plan (approx. 13' from curb and only the western third of the property).

City of Cody Planning and Zoning
Fence Height Exemption


Dear City of Cody P&Z board,

I write you today on behalf of Connor and Meredith Dubose, who purchased multiple properties on Canyon Avenue. They are overhauling fences that are in dire need of replacement on this property. As I worked there we talked about installing a fence along Canyon, a 6' height to match the rest of the existing fences on the property, as well as to provide safety, security and privacy as they transform what was previously an empty lot into their new back yard.

There are currently railroad ties and pink flags indicating the proposed fence line, but it would be 13' from the back of curb instead of the 25' required by the City of Cody. I have included photos with my application one shows the proposed fence changes for the entire property, and one shows the current lot that I am referring to. I have also included form letters from neighbors showing no opposition, as well as an affidavit that I mailed a letter to the management company that runs Sierra Trading Post as well as the letter.

Please let me know if you have any questions or need any additional information. We look forward to helping to beautify one of the main corridors in our town with the addition of this fence.

Thank you for your consideration,



- Cathy Roes
Midwest Fence Company
307-587-3347

June *, 2022

NOTICE TO OWNERS OF NEIGHBORING PROPERTIES

Please respond to this notice by June __, 2022 to:

Cody City Planner
P.O. Box 2200
Cody, WY 82414
todds@codywy.gov

OR EMAIL:

The City of Cody has received a request for a fence height waiver requesting permission to install a 6-foot-tall cedar privacy fence in the front yard of the vacant lot to the west of 821 Canyon Avenue, as shown on the drawing. Privacy fences over four feet in height in the front yard require a height waiver. Your comments would be appreciated.

This request will be considered by City of Cody Planning & Zoning Board at their regularly scheduled meeting on Tuesday, June __, 2022, at 12:00 p.m. in the City Hall Council Chambers, at 1338 Rumsey Ave.



Response Letter from Owner(s) of Neighboring Properties:

(Responses may be submitted using the form below, or by sending an email to: todds@cityofcody.com)

The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

☒ I have NO OBJECTION to the 6-foot-tall fence as proposed.

Name: _____

Address: _____

Comments: _____

Rick Brasher - Brasher Properties
802 Canyon Ave Cody WY 82414
ok with us
[Signature]

☐ I OBJECT to the fence height waiver to allow the 6-foot tall fence as proposed.

Name: _____

Address: _____

Reason for Objection: _____

June *, 2022

NOTICE TO OWNERS OF NEIGHBORING PROPERTIES

Please respond to this notice by June __, 2022 to:

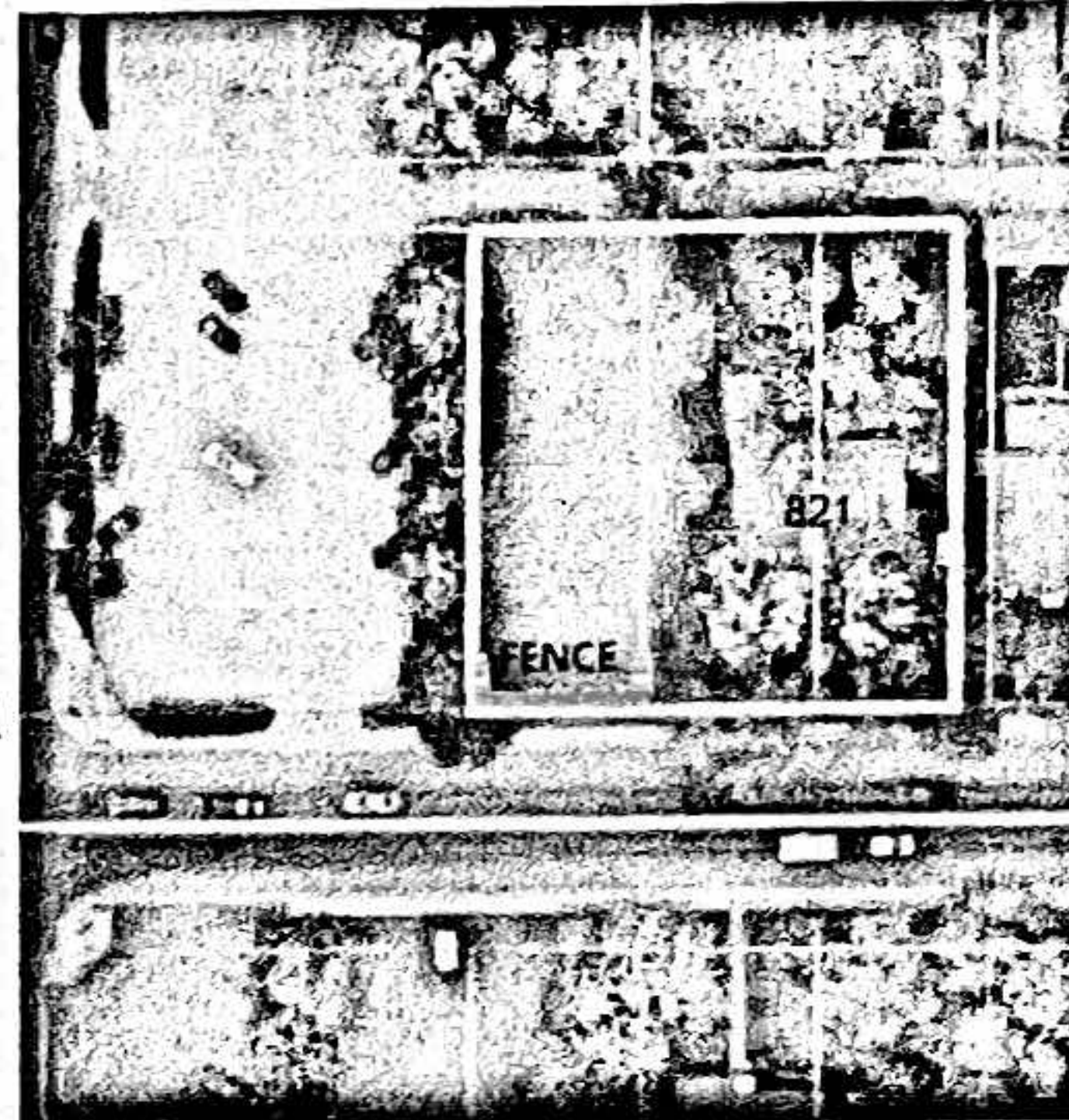
Cody City Planner
P.O. Box 2200
Cody, WY 82414

OR EMAIL:

todds@codywy.gov

The City of Cody has received a request for a fence height waiver requesting permission to install a 6-foot-tall cedar privacy fence in the front yard of the vacant lot to the west of 821 Canyon Avenue, as shown on the drawing. Privacy fences over four feet in height in the front yard require a height waiver. Your comments would be appreciated.

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Response Letter from Owner(s) of Neighboring Properties:

(Responses may be submitted using the form below, or by sending an email to: todds@cityofcody.com
The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

☒ I have NO OBJECTION to the 6-foot-tall fence as proposed.

Name:

Robert Schultz Robert C Schultz

Address:

820 Canyon Ave, Cody, WY 82414

Comments:

☐ I OBJECT to the fence height waiver to allow the 6-foot tall fence as proposed.

Name:

Address:

Reason for

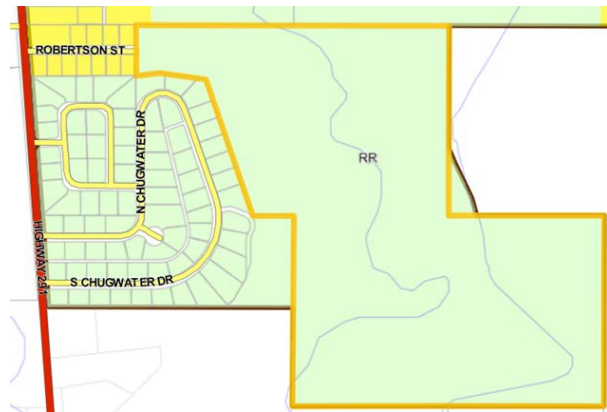
Objection:

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	JUNE 28, 2022	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	
SUBJECT:	FINAL PLAT FOR THE DANSIE MINOR SUBDIVISION—A 3-LOT SUBDIVISION. SUB 2022-01	RECOMMENDATION TO COUNCIL:	X
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT OVERVIEW

The Craig and Julie Ann Dansie Family Trust have submitted the final plat application for their 3-lot subdivision. The property is 116.6-acres and located at 140 Robertson Street. The two 0.46-acre lots proposed at the end of Robertson Street are vacant, and all subdivision improvements pertain to them. Lot 3 contains the owner's residence and farmland, and does not trigger additional improvements. The property is zoned Rural Residential (RR). A copy of the final plat and construction plans for the cul-de-sac are attached.



SUBDIVISION REGULATIONS

The subdivision ordinance requirements were reviewed with the preliminary plat approval. Variances were granted as noted below and the preliminary plat was approved subject to the following conditions. The status of each condition is noted.

Subdivision Variances:

1. To reduce the cul-de-sac diameter requirement to 80 feet.
2. To waive the alley requirement.
3. To waive the pathway requirement.
4. To waive the block length requirement.
5. To waive the requirement to pipe irrigation ditches on Lot 3.

Status of Preliminary Plat Conditions:

1. Provide the final plat documents in accordance with the subdivision ordinance.

Status: The final plat has been provided, along with construction plans for expansion of the cul-de-sac. After construction of the cul-de-sac, additional

documentation and the engineer's certification for those improvements will need to be provided.

2. The final plat must include the property line and property corner information for Lot 3, as all of it is within the subdivision. (Clean up the middle map.)

Status: The information has been added to the final plat.

3. With the final plat application, provide grading and pavement detail plans of the cul-de-sac expansion for review and approval. Grading of a swale around appropriate portions of the perimeter (north side) is to be included. Construction of the expansion will need to occur prior to issuance of building permits on Lots 1 and 2; provided, a building permit may be issued if a financial security (e.g. letter of credit, performance bond, or cash deposit) is provided to the City to ensure completion prior to issuance of a certificate of occupancy.

Status: The plans have been submitted and are acceptable to Public Works.

Expansion of the cul-de-sac remains to be completed, so a note has been added to the plat (Note 2 in upper left corner) indicating that the installation of outstanding subdivision improvements is to be completed prior to issuance of building permits.

4. The water tap fee for Lot 1 and the electrical estimate are to be paid before the final plat is recorded.

Status: Paid.

5. Installation of the electrical extension to Lots 1 and 2 is required prior to issuance of a building permit on the lots.

Status: The electrical extension is still pending. Note 2 on the final plat discloses the need to complete outstanding subdivision improvements prior to issuance of building permits.

6. All work within the Robertson Street right-of-way requires a street encroachment permit from Public Works, prior to excavation or construction.

Status: The contractor will need to obtain the permit before work is conducted.

7. Provide an easement for the water line that runs from the water meter on Lot 1 to Lot 3, which easement is for the benefit of Lot 3.

Status: Met.

Other:

1. When reviewing the preliminary plat, staff and the surveyor failed to recognize that the Rural Residential (RR) zoning district lacks the footnote that allows for reduced frontage when the lot is on a cul-de-sac. With the exception of the RR zone, all residential zoning districts either have the following footnote for the minimum frontage requirement, "*Lots located entirely along the circular portion of a cul-de-sac*

bulb or outside knuckle of a street corner may be reduced to a minimum of 30 feet, provided the lot width requirement is met", or the zone already has a lot frontage requirement of 30 feet or less. The Rural Residential zone specifies a minimum frontage requirement of 80 feet. The three lots are proposed to have frontages of 116.7', 51.9', and 66.5'. While the lot lines and cul-de-sac could be reconfigured to meet the 80-foot frontage requirement, there is no purpose that can be identified for doing so in this instance, other than to meet the "letter of the law". Lot 3 is the only lot that has potential for future subdivision, and it has sufficient frontage for a full city street to be extended into its frontage. For these reasons, a variance to allow the street frontages proposed is recommended.

2. At least one telecommunication utility must be available to each lot. The telecommunication companies have been slow to respond. The applicant will need to coordinate with those companies and submit a final telecommunication plan prior to the mayor signing the final plat.

POTENTIAL MOTION:

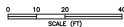
Recommend approval of the Dansie Minor Subdivision final plat, with an additional variance to allow the street frontages proposed, subject to the following conditions:

1. Comply with Note 2 on the final plat, which is that "Outstanding subdivision improvements must be completed prior to issuance of any building permit for construction on Lots 1 and 2. Contact the community development department at City Hall for information." Those improvements include expansion of the cul-de-sac, installation of the electrical system, and the utility connections (sewer for both lots, and water and natural gas for Lot 1). Refer to the preliminary plat for the authorized locations of connections. As noted in the preliminary plat condition #3, a financial security can be provided to allow a building permit to be issued, if timing is an issue.
2. Upon completion of the cul-de-sac improvements provide the engineer's certification, developer's one-year warranty on the improvements, and other information as necessary to comply with Section 11-5-1(A) of the subdivision ordinance.
3. Prior to the mayor signing the final plat, provide a plan that has been coordinated with at least one of the following telecommunication providers, Spectrum, TCT and/or CenturyLink, for serving the two vacant lots. It likely makes sense for them to go in the same trench as the electrical extension.

ATTACHMENTS:

Final Plat
Cul-de-sac plans

1. BEARINGS ARE BASED ON THE CITY OF CODY COORDINATE SYSTEM, WHICH IS BASED ON THE WYOMING COORDINATE SYSTEM NAD83 WEST CENTRAL ZONE.



(6) FOUND 3.5" DIA. BRASS CAP
 O FOUND 2" DIA. ALUMINUM CAP, OTHERWISE NOTED
 * SET 2" DIA. ALUMINUM CAP ON 5/8" DIA. STEEL BAR.
 X MONUMENT OF RECORD IN EITHER RECORD OF SURVEY
 "D-83" OR CHUGWATER RIMS SUBDIVISION "F-154".
 NOT SURVEYED FOR THIS PLAT.
 --- SUBDIVISION BOUNDARY
 --- PROPOSED SUBDIVISION LOT LINES.
 --- EXISTING EASEMENT
 --- EASEMENTS CREATED THIS PLAT
) RECORD DIMENSIONS FROM RECORD OF SURVEY "D-83"
 IN PARENTHESIS
) RECORD DIMENSIONS FROM PLAT OF CHUGWATER RIMS



I, LYLE J. CASCIATO, OF ENGINEERING ASSOCIATES, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED USING DOCUMENTS ON FILE IN THE OFFICE OF THE PARK COUNTY CLERK, AND FROM NOTES TAKEN DURING ACTUAL SURVEYS PERFORMED UNDER MY DIRECTION IN DECEMBER, 2021 AND MAY, 2022; AND, THAT TO MY KNOWLEDGE, THIS MAP SHOWS THE SITUATION ON THE GROUND AT THE TIME OF ITS PREPARATION.



APPROVED AS OF _____ DAY OF _____, 2022 BY THE CITY
PLANNING AND ZONING BOARD OF CODY, WYOMING.

STATE OF WYOMING) ss.
COUNTY OF PARK)

I, KNOW ALL THINGS BY THESE PRESENTS THAT I/WE, THE UNDERSIGNED, HEREBY CERTIFY THAT I/WE ARE OWNERS, CRAIG & JULIE ANN DANFAM FAMILY TRUST, AND PROPRIETORS OF SAID PARCEL DESCRIBED IN WARRANTY DEED #2020-7375 ACCORDING TO THE RECORDS OF THE COUNTY CLERK AND COUNTY RECORDER OF SAID COUNTY OF PARK, STATE OF WYOMING, AND THAT I/WARRANTY DEED RECORDED AS DOCUMENT #2020-7375 IN SAID CLERK AND RECORDER'S OFFICE;

THAT WE HAVE CAUSED SAID PROPERTY TO BE SURVEYED AND PLATTED AS SHOWN HEREON AS THE DANFAM MOUNTAIN SUBDIVISION LOCATED WITHIN THE CITY OF COOY; THAT THE SUBDIVISION AS APPEARS ON THIS MAP WAS MADE WITH THE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETORS; THAT WE HEREBY DEDICATE THE ROBERTSON STREET RIGHT-OF-WAY TO THE CITY OF COOY, WYOMING, FOR THE USE OF THE PUBLIC; AND THAT WE HEREBY RESERVE TO OURSELVES, OR SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY AND MINERAL RIGHTS OR RESERVATIONS ON RECORD.

ORAG DANISIE JULIE DANISIE

STATE OF WYOMING }
COUNTY OF PARK } SS.

THE FOREGOING CERTIFICATE OF OWNER WAS ACKNOWLEDGED BEFORE ME BY ORAG & JULIE DANISIE ON BEHALF OF THE ORAG AND JULIE ANN DANISIE FAMILY TRUST.

THIS _____ DAY OF _____, 2022, WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC

APPROVED AS OF _____ DAY OF _____, 2022 BY THE CITY
COUNCIL OF CODY, WYOMING.

MAYOR - MATT HALL

ATTEST: CINDY BAKER
ADMINISTRATIVE SERVICES OFFICER

THIS PLAT WAS ACCEPTED IN THE OFFICE OF THE CLERK AND RECORDER, PARK COUNTY, WYOMING, AT _____ O'CLOCK _____ M. ON THIS _____ DAY OF _____ 2022, FILED FOR RECORDING IN BOOK OR PLAT CABINET _____ AT PAGE _____ AND RECORDED AS COMPUTER RECORD DOCUMENT NUMBER _____.

PARK COUNTY CLERK

BY: _____, DEPUTY

LOCATED WITHIN

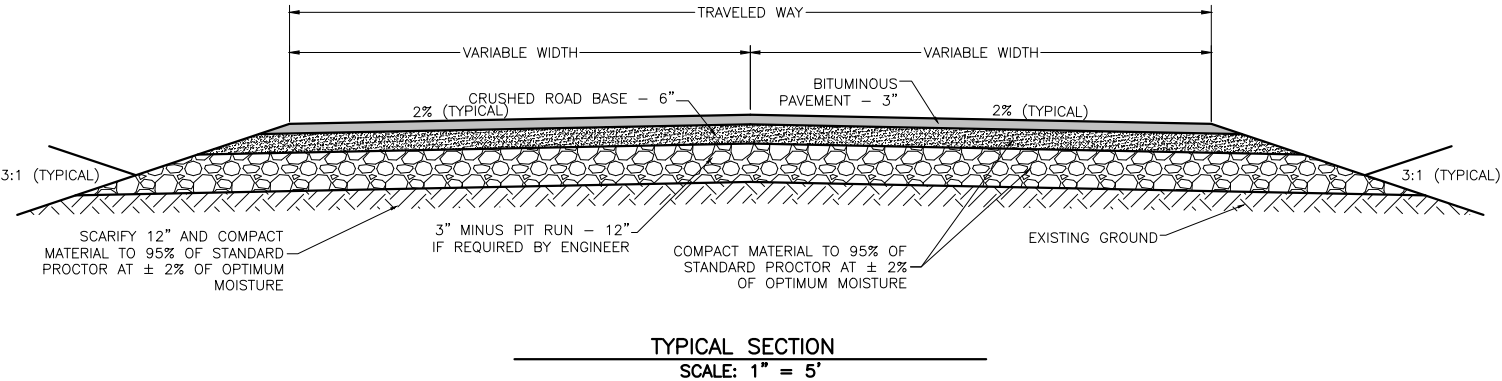
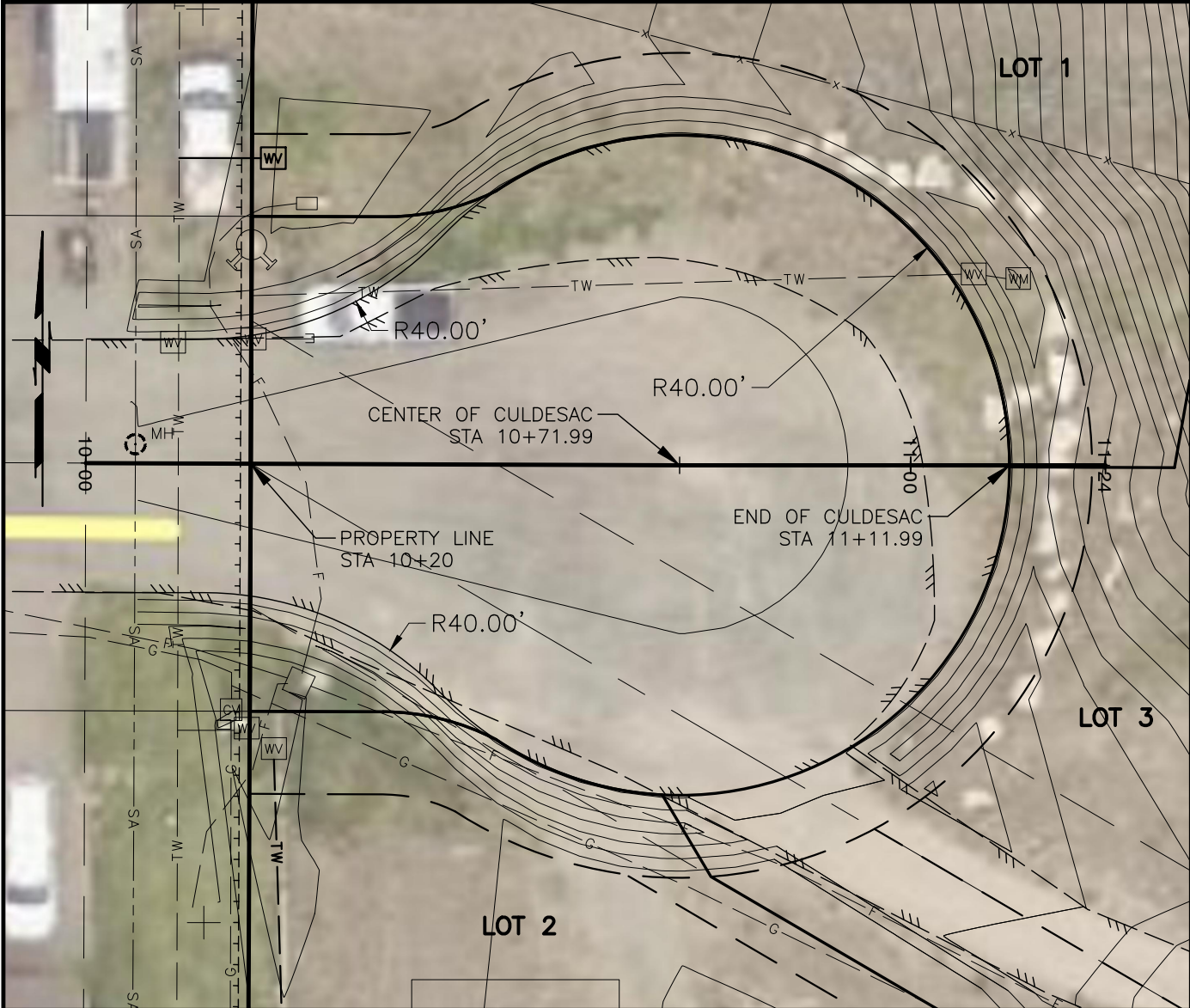
NE1/4NW1/4 LOT 65
RESURVEY T.52N., R.102W., 6TH P.M.,
CITY OF CODY, PARK COUNTY, WYOMING

PREPARED FOR: CURT DANSIE
2629 BIG HORN AVE.
CODY, WY 82414

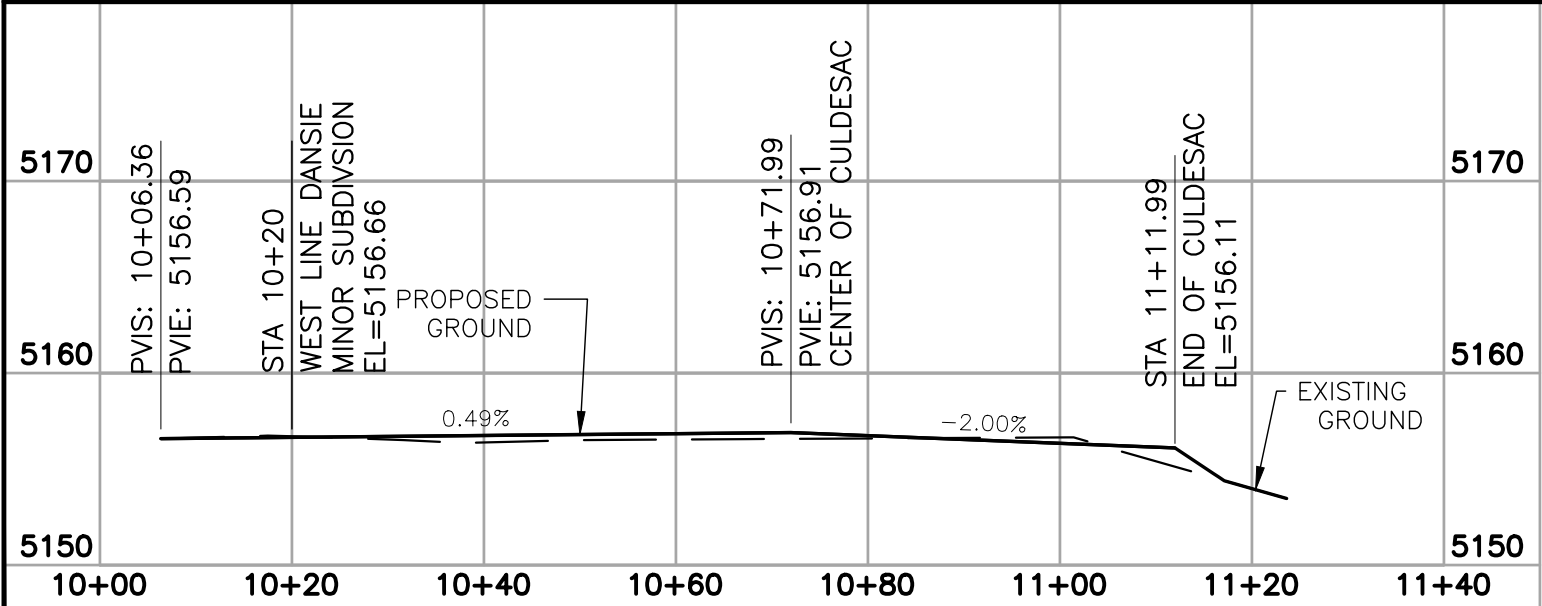
PREPARED BY: ENGINEERING ASSOCIATES
CONSULTING ENGINEERS & SURVEYORS
P.O. BOX 1900
CODY, WYOMING 82414



JOB NO. 21100.56 BOOK NO. 593
06/22/22 P:\21100.56\ACAD\BASE



SCALES:
1" = 20' HOR
1" = 10' VERT



DATE	DRAWING LOG	BY	CHECKED	APPROVED	DRAWN BY: IKSM
6/16/22	ORIGINAL DRAWING	IKSM			JOB NO. 21100.56
					FIELD BOOK NO. 593

**ENGINEERING ASSOCIATES – CODY, WYOMING**
CONSULTING ENGINEERS & SURVEYORS

OWNER:	CURT DANSIE	PROJECT:	DANSIE MINOR SUBDIVISION	SHEET	1 OF 1
		TITLE:	PLAN & PROFILE – ROADWAY		

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	JUNE 28, 2022	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	
SUBJECT:	FINAL PLAT AND CONSTRUCTION PLANS FOR THE WEST AVENUE DUPLEXES SUBDIVISION— AN 8-LOT SUBDIVISION. SUB 2021-08	RECOMMENDATION TO COUNCIL:	X
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT OVERVIEW

Ken McKinney has submitted the final plat application and construction plans for his 8-lot subdivision identified as the West Avenue Duplexes Subdivision. The property is zoned R-2 residential. Lot 1 is identified as a single-family lot, and the other seven lots are identified as duplex (two-family dwelling) lots.



SUBDIVISION REGULATIONS

The general subdivision ordinance requirements were reviewed with the preliminary plat approval. The following subdivision variances were granted by the City Council:

1. To allow a permanent dead-end street.
2. To allow use of the updated master plan street section and corresponding reduction in right-of-way width.
3. To allow a 100-foot curvature radius on the internal street (reduced from 200').
4. To waive the alley requirement.
5. To waive the block length requirement.
6. To waive burying (piping) of the relocated irrigation ditch.
7. To allow 4-foot sidewalks instead of 5-foot sidewalks.

According to 11-3-3 of the subdivision ordinance, the subdivider is to present the final plat and all supplemental materials required according to the subdivision regulations. After an initial review of the materials by staff, the Board is to verify that:

Design of the final plat ...conform[s] to the approved preliminary plat and ...include[s] all changes specified thereon. The commission [P&Z Board] will review the final plat and its attached supplemental materials and make a recommendation of approval, conditional approval or disapproval to the council. When taking action on a proposed plat, the written comments of the utility companies will be reviewed and considered along with comments from any other outside agencies and interested parties. Upon completion of the review, the commission will recommend approval, conditional approval or disapproval of the plat to the council.

The "supplemental materials" mentioned are listed in that same section of code and include information on surface water (irrigation); utility company letters or agreements from all concerned utility companies (telephone, cable TV, gas, electrical, irrigation districts, Wyoming highway department, water, sewer, etc.) that clearly define how the utilities will be installed; construction plans and specifications that carry the stamp, seal or signature of every agency or company that will be affected by said development and which should have reviewed said plans and specifications; covenants for provisions for the perpetual care and maintenance of those portions of the subdivision which are to be of common use or ownership; and evidence of ownership. The status of these items will be noted throughout the report.

Status of Preliminary Plat Conditions:

The conditions of the preliminary plat approval are listed below, with the status of each.

1. A maintenance agreement and/or homeowner's association shall be established for maintenance of the storm water infiltration facilities (trench). Submit the proposed document(s) with the final plat.
Status: Not submitted. In progress.
2. The applicant will need to contact the post office for mail box location(s). The final location must be authorized by both the Post Office and City.
Status: No information provided. Location must be determined prior to commencing construction of the subdivision improvements.
3. Primary vehicle access for Lots 2 and 3 will be limited to the interior street, unless otherwise approved by Public Works. Include a note on the final plat to notify the lot owners of the restriction.
Status: Met. Shown as Subdivision Note 2.
4. The building on Lots 4 and 5 will need to be removed before the final plat is recorded, so that no building or zoning violations are created.
Status: Pending.
5. Relocate the irrigation ditch in a manner that flow is not interrupted for any significant amount of time, unless coordinated with the applicable water users.

Status: Pending. Required to be completed before building permits can be issued. No documentation has been provided that relocation has been coordinated with the irrigation company. No issues with the relocation are anticipated.

6. Include complete survey information and monumentation on the final plat.

Status: Met—shown on plat.

7. Obtain an approved street name from the street name committee—use “Court”.

Status: Not met. Must occur before the final plat can be signed by mayor and recorded.

8. In the construction plans that are to be submitted for approval with the final plat, clarify/include the following:

- a. Curb stops are to be placed near the back of sidewalk, and a pigtail run below the dry utility trench to the back of the utility easement.

Status: Shown in plans—clarified by Note 8 on Sheet 2.

- b. Raw water valves are to be placed near the back of sidewalk. No pigtail is needed.

Status: The plans need corrected or clarified as the valves are not currently shown at the back of sidewalk. Due to the raw water drain location, raw water valves for Lots 6 and 7 may be on the back side of the dry utilities.

- c. Extend the sewer services to the back of the utility easement, as shown.

Status: Shown correctly on the plans.

- d. Shift the secondary pedestal in front of Lot 7 to the south line of the lot.

Status: Met.

- e. Include a street sign, stop or yield sign, and “No Outlet” sign.

Status: The symbol for the street sign is shown and referenced, but the plans need further clarity that stop or yield and “No Outlet” signs are also to be installed.

- f. Clarify the West Avenue detail—18’ from centerline to ribbon curb, and saw cut existing asphalt to provide clean edge.

Status: Done—see Sheet 1 detail.

- g. Shift the infiltration trench to the north side of the drainage easement between Lots 4 and 5.

Status: Needs further clarity—recommend adding “Centerline of...” to the “Drainage Swale” line in the legend on Sheet 5 and deleting what appears to be the south edge of the drainage swale from the plan.

- h. Note the abandonment/removal of all unused utilities, per the requirements of the utility providers. (Includes overhead utilities and potentially gas, sewer, power, cable/phone, and water services to Lot 3.)

Status: Not met, and as of the time of this staff report no documentation has been provided from the utility providers or applicant regarding coordination of the abandonment/removal, other than from the City electric division.

9. The final plat application and construction documents shall otherwise comply with the City subdivision ordinance.

Status: Edits are need to the final plat. The construction plans are relatively clean, other than as noted in #8 above and in "Other" below. The construction plans lack the signatures of the utility providers showing their approval of the plans. Normally at this point we have at least verbal approvals from the providers and then obtain signatures on the final clean set. However, this time we still lack many of the verbal approvals.

10. Payment of the cash-in-lieu of public use area fee will need to occur prior to the mayor signing the final plat.

Status: Pending.

Other:

1. Applicable utility connection fees will need to be paid prior to the mayor signing the final plat (electrical estimate and water tap fees).
2. The construction plans also need the following, in addition to the items previously mentioned:
 - a. Add a note that it is the contractor's responsibility to control dust, and prevent "track out" onto West Avenue. A construction entrance should be considered.
 - b. Add a detail for the cross section of the interior street, and verify depths of the layers with the P.W. Director.
 - c. Add the City standard details. (ADA ramps, domestic water connection with pigtail, raw water services, markers on each utility stub, etc.)
 - d. The extension of power from the east, down West Avenue needs further coordination with Public Works regarding alignment. The electric division is working on acquiring additional easement, which would allow the lines to run south of the 30' wide right-of-way of West Avenue.
 - e. Clarify the
3. The final plat needs the following edits, in addition to those previously noted.
 - a. Correct typos (The label for the width of the north half of West Avenue should be 15' instead of 30', spelling of "Witnesses" in the label north of plat, spelling of "known" in the description of lands, spelling of "and" in Note 2, missing "Duplexes" in subdivision name in the Clerk's certificate.)
 - b. Delete "to be" from the right-of-way label dedication for the additional 10' of West Avenue.

- c. Add all seven variances to the "Variances" section.
 - d. Several easements are noted as being granted to the homeowner's association—as the last discussion was leaning towards a "maintenance association", that wording may need modified—match the language in the covenants that are to be provided.
 - e. Easement E6 needs to be for the benefit of the City of Cody also (it will accept drainage from what will be a City street).
 - f. Disclose the need to protect the swales by adding the following note or similar under the subdivision notes: "The swales along West Avenue and the swales within the drainage easements (E2 and E6) are to be maintained as designed, unless otherwise authorized by the City of Cody.
 - g. It is recommended that the labels "Duplex Residential" and "Single Family Residential" on each lot be replaced by a general subdivision note like, "Lots 2-8 intended for two-family residential dwellings (duplexes)." (By stating it as an intent, the lot label won't be interpreted as the only use that can be placed on that lot.)
 - h. The legal description wording in the certificate of owner is confusing in that there is no Lot 6A in the original Fenex Subdivision that is referenced. Discuss options with the City planner and modify language.
4. Existing surface water rights on the property are proposed to be transferred to the City of Cody. The contract between the owner and an engineer to complete that process is required to be submitted prior to final plat approval, in accordance with the subdivision ordinance.
 5. No plans or detailed information has been provided on the relocation of the irrigation ditch. As the ditch will enter a pipe as it exits the property, details of that transition should be provided.
 6. It is noted that the domestic water curb stops to the duplex lots will be 1" in size. What happens after that—whether the water line continues as a 1" line to serve each duplex or is split into two ¾" services with individual curb stops is up to the developer. Curb stops for individual ¾" services would be at the cost of the developer and is not included in the utility fee calculation.
 7. If the developer is agreeable to no lot sales, no certificates of occupancy, and only the owner's contractors on the property until the subdivision improvements are completed, then there may be the opportunity for the City Council to grant a variance for building permits to be issued before the subdivision improvements are fully completed and accepted by the City. If the developer is interested, the variance must be requested before City council considers the final plat.

ALTERNATIVES:

The subdivision code states:

If approval or conditional approval is recommended by the commission [Board], the subdivider may present the plat and supplemental materials to the council.

If the final plat is conditionally approved or disapproved by the commission [Board], reasons for such action shall be given to the subdivider, in writing, along with recommendations that would grant the plat approval.

RECOMMENDATION:

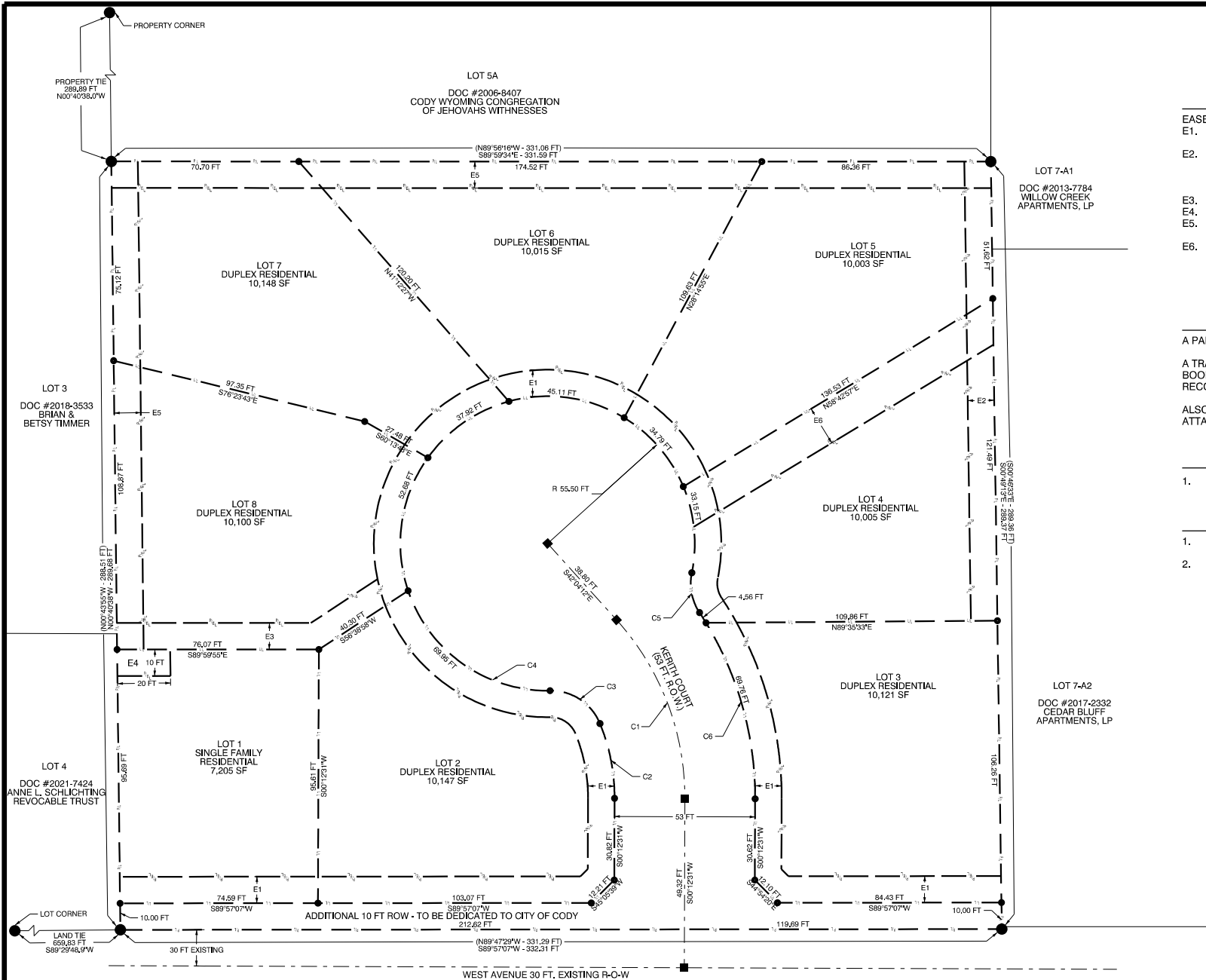
Staff has reviewed the items presented in the final plat application and has identified in this staff report the recommendations that are necessary to achieve final plat approval.

It is evident that some items, particularly many of the “supplemental materials”, are still lacking, which need to be submitted and reviewed before the final plat application can be approved. It is up to the Board whether they want to table their review until those items are provided, or if they direct staff to send the application to the City Council after the additional items provided. It does not make sense to send the application to the City Council in its current state, as the Council would not have all of the material to review.

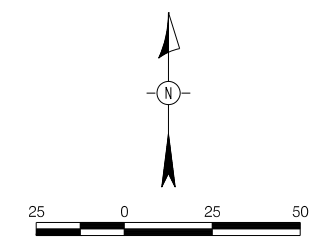
The typical “Conditions of Approval” are not noted here. They would simply be addressing all of the outstanding items listed in the staff report to the satisfaction of the City Council.

ATTACHMENTS:

Final Plat
Construction Plans
Drainage Report



LOT 9-11-7 DOC #2018-5563 SCOTT SCHORFIELD	LOT 9-11-6 DOC #2002-04669 DANIEL G. VULETICH	LOT 9-11-5 DOC #2021-7332 DANIEL G. & APRIL KATHERINE VULETICH	LOT 9-11-4 DOC #2006-5289 CLINTON J. & ELIZABETH A. CAMPBELL	LOT 9-11-3 DOC #2021-4215 ACORN PROPERTIES, LLC
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CURVE TABLE			
NO.	LENGTH	RADIUS	DELTA
C1	73.79 FT	100.0 FT	-42°16'43"
C2	28.89 FT	73.5 FT	22°31'20"
C3	23.96 FT	20.0 FT	68°38'20"
C4	273.59 FT	55.5 FT	-282°26'27"
C5	15.69 FT	20.0 FT	-44°56'40"
C6	74.33 FT	126.5 FT	33°39'53"

LEGEND	
	SUBDIVISION BOUNDARY
	SUBDIVISION LOT LINES
	STREET CENTERLINE
	PROPOSED EASEMENT
	ADJACENT LOTS
	BROKEN SCALE
	INDICATES RECORD DIMENSIONS
	SET 3-IN. BRASS CAP ON 2-IN X 30-IN PIPE
	SET 2-IN. ALUMINUM CAP ON 5/8 IN X 24 IN REBAR
	SET STREET CENTERLINE MONUMENT

EASEMENT NOTES

- EASEMENTS
- E1. A 10-FT WIDE UTILITY AND DRAINAGE EASEMENT ALONG WEST AVENUE AND THE KERITH COURT RIGHT-OF-WAY.
- E2. A 10-FT WIDE DRAINAGE EASEMENT FOR THE BENEFIT OF THE WEST AVENUE DUPLEXES HOME OWNERS ASSOCIATION ALONG THE EAST BOUNDARY OF LOTS 4 AND 5.
- E3. A 10-FT WIDE UTILITY EASEMENT ALONG THE SOUTH BOUNDARY OF LOT 8.
- E4. A 10-FT BY 20-FT UTILITY EASEMENT IN THE NORTHWEST CORNER OF LOT 1.
- E5. A 10 FT WIDE IRRIGATION EASEMENT ALONG THE WEST BOUNDARY OF LOTS 7 AND 8, AND THE NORTH BOUNDARY OF LOTS 5, 6 AND 7.
- E6. A 15-FT WIDE DRAINAGE EASEMENT FOR THE BENEFIT OF THE WEST AVENUE DUPLEXES HOME OWNERS ASSOCIATION ALONG THE NORTH BOUNDARY OF LOT 4. MODIFICATION TO SURFACE GRADING NOT PERMITTED BY LOT OWNERS WITHOUT APPROVAL BY THE HOMEOWNER'S ASSOCIATION AND THE CITY OF CODY.

DESCRIPTION OF LANDS

A PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A TRACT OF LAND LOCATED WITHIN LOT 5 AND LOT 6, FENEX SUBDIVISION, AS LOCATED IN BOOK "E" OF PLATS, PAGE 24, ACCORDING TO THE RECORDS OF THE COUNTY CLERK AND RECORDER OF PARK COUNTY, STATE OF WYOMING.

ALSO KNOW AS LOT 6-A OF RECORD OF SURVEY SHOWING BOUNDARY LINE ADJUSTMENTS ATTACHED TO WARRANTY DEED RECORDED OCTOBER 24, 2006 AS DOC #2006-8406.

VARIANCES

1. CITY ORDINANCE 11-4-2 (P): A VARIANCE TO THE REQUIREMENT FOR ALLEYS.

SUBDIVISION NOTES

1. STORM WATER INFILTRATION FACILITIES SHALL BE MAINTAINED PER THE STORM WATER MAINTENANCE AGREEMENT.
2. PRIMARY VEHICLE ACCESS FOR LOTS 2 AN 3 WILL BE LIMITED TO THE INTERIOR STREET.

CERTIFICATE OF OWNER

KNOW ALL PERSONS BY THESE PRESENTS THAT WE, THE UNDERSIGNED, ALL HEIRS AND/OR ASSIGNS, HEREBY CERTIFY THAT WE ARE THE OWNERS AND PROPRIETORS OF THE LOT 6A OF THE FENEX SUBDIVISION AS FILED IN PLAT CABINET E, PAGE 24, EVIDENCED BY DOC# 2021-8085 ON FILE IN THE OFFICE OF THE PARK COUNTY CLERK; THAT WE HAVE CAUSED SAID LANDS TO BE SURVEYED; THAT THE SUBDIVISION OF SAID LANDS IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETORS; THAT WE, THE UNDERSIGNED, HEREBY DEDICATE THE EASEMENTS AND RIGHTS-OF-WAY SHOWN HEREON FOR THE PURPOSES NOTED; THAT SAID LANDS ARE SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY AND MINERAL RIGHTS OR RESERVATION OF RECORD; AND, THAT ANY RIGHTS BY VIRTUE OF THE HOMESTEAD EXEMPTION LAWS OF THE STATE OF WYOMING ARE HEREBY RELEASED AND WAIVED.

KEN MCKINNEY, MEMBER - OLD BLACK WAGON PROPERTIES, LLC

STATE OF WYOMING)
COUNTY OF PARK)SS

THE FOREGOING CERTIFICATE OF OWNER WAS ACKNOWLEDGED BEFORE ME BY KEN MCKINNEY, MEMBER: OLD BLACK WAGON PROPERTIES, LLC ON THIS ____ DAY OF ____, 20____. WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

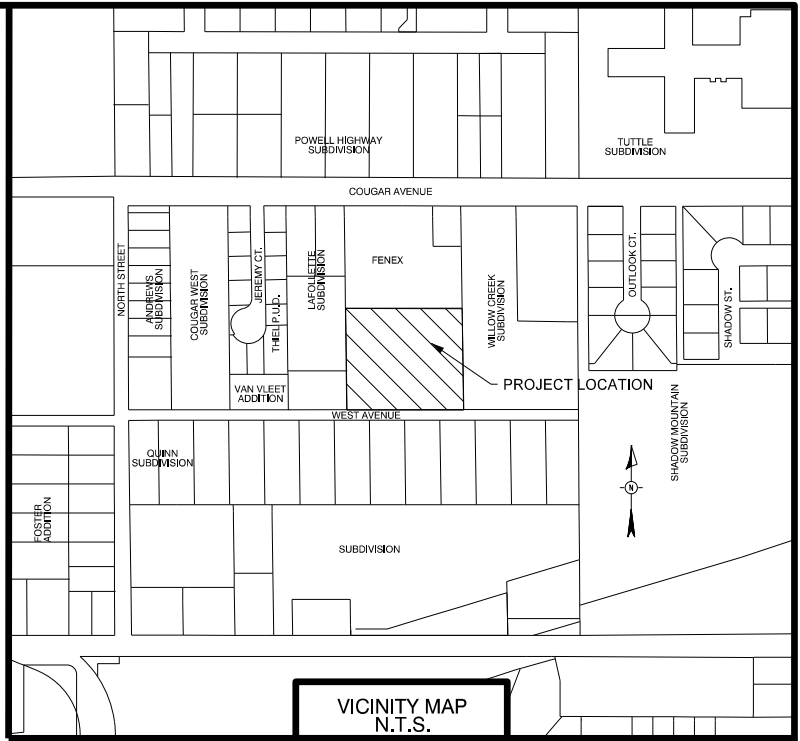
SURVEY NOTES

1. BEARING BASE: BEARINGS SHOWN ON THIS PLAT ARE GEODETIC BASED ON THE WYOMING STATE PLANE COORDINATE SYSTEM, NAD83(2011). WYOMING WEST CENTRAL ZONE.
2. GRID DISTANCES HAVE BEEN SCALED ACCORDING TO THE CITY OF CODY DATUM: 1/CSF = 1.0002978.
3. SURVEY WORK WAS PERFORMED TO AN ACCURACY OF 1:15,000. LINEAR UNITS ARE U.S. SURVEY FEET. ANGULAR UNITS ARE DEGREES, MINUTES SECONDS.
5. TOTAL SUBDIVISION AREA = 2.20 ACRES, MORE OR LESS.

CERTIFICATE OF SURVEYOR

I, BRETT J. FARMER, A DULY REGISTERED LAND SURVEYOR IN THE STATE OF WYOMING, DO HEREBY STATE AS FOLLOWS: THE INFORMATION SHOWN HEREON IS BASED ON RECORDS ON FILE IN THE OFFICE OF THE PARK COUNTY CLERK AND ON FIELD SURVEY WORK PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT THIS FINAL PLAT SHOWS THE DIVISION OF LANDS DESCRIBED IN DOC# 2021-8085 ON FILE IN THE OFFICE OF THE PARK COUNTY CLERK; THAT THE LANDS SURVEYED ARE CORRECTLY DESCRIBED IN THE DESCRIPTION OF LANDS AND THE SUBDIVISION THEREOF IS CORRECTLY SHOWN ON THIS PLAT, WHICH IS DRAWN TO THE SCALE INDICATED; AND THAT THE INFORMATION SHOWN HEREON IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BRETT J. FARMER
WYOMING REGISTRATION NO. 15644, L.S.



APPROVALS

CITY PLANNING AND ZONING BOARD

RECOMMENDED FOR APPROVAL THIS ____ DAY OF ____, 20____ BY THE CITY PLANNING AND ZONING BOARD OF CODY, WYOMING.

BY CHAIRMAN: _____

CITY COUNCIL

APPROVED THIS ____ DAY OF ____, 20____ BY THE CITY COUNCIL OF CODY, WYOMING.

BY MAYOR: _____
MATT HALL

ATTESTED BY: _____
ADMINISTRATIVE SERVICES DIRECTOR

COUNTY CLERK'S CERTIFICATE

THIS PLAT OF THE WEST AVENUE SUBDIVISION WAS FILED FOR THE PUBLIC RECORD IN THE OFFICE OF THE CLERK, PARK COUNTY, WYOMING, AT ____ O'CLOCK ____ P.M. ON THE ____ DAY OF ____, 20____, AND IS DULY RECORDED IN PLAT CABINET ____, ON PAGE ____, DOC# _____

BY: _____
PARK COUNTY CLERK DEPUTY

FINAL PLAT

WEST AVENUE DUPLEXES SUBDIVISION

BEING A SUBDIVISION OF LOT 6A WITHIN LOTS 5 AND 6 OF THE FENEX SUBDIVISION

RESURVEY T.52N., R.101W., 6TH P.M., CITY OF CODY, PARK COUNTY, WYOMING

DEVELOPER / OWNER:
OLD BLACK WAGON PROPERTIES, LLC
505 SW LEVENS STREET
DALLS, OR 97338
DOC# 2021-8085

SAGE CIVIL ENGINEERING
AND SURVEYING
2824 BIG HORN AVE.
CODY, WY 82414
307-527-0915

MARCH 30, 2022. PROJECT # 2021-064
DRAWN BY: RWB 21-064_PLAT.DGN

FIELD SURVEY:
BY: BF FIELD BOOK: 24



Joseph Burrell
Utility Construction Planner
Joseph.burrell@blackhillscorp.com

2320 Mountain View Dr.
Cody, WY 82414
O: 307-527-3975

June 10, 2022

James Evans, P.E.
Sage Civil Engineering
2824 Big Horn Ave
Cody, WY 82414

Dear Mr. Evans:

This is in response to the proposed three lot development for Old Black Wagon Properties. Black Hills Energy has a 2" steel main running east-west along West Ave. We do have sufficient volume, at this time, to service natural gas safely and reliably to this new development. It will be necessary to install a new 2" PE main tied into the existing steel main in West Ave. All lots can be served off the new main installed within the new subdivision.

Before Black Hills Energy will proceed with construction, a signed agreement and payment must be remitted a minimum of thirty (30) days prior to the start of construction.

When you are ready to have a gas lines installed, please call our Call Center at 1-888-890-5554 or go online to www.blackhillsenergy.com. This will initiate the request process, and Black Hills Energy will reach out to you to set up an appointment for a site visit.

Thanks,

Joseph Burrell
Black Hills Energy

LEGEND

SUBDIVISION BOUNDARY	
LOT LINES	
EASEMENT LINE	
RIGHT OF WAY	
ROAD CENTERLINE	
SANITARY SEWER MAIN & SERVICE	
TREATED WATER MAIN & SERVICE	
RAW WATER MAIN & SERVICE	
GAS MAIN & SERVICE	
PRIMARY POWER	
SECONDARY POWER	
POWER SERVICE LINE	
FIBER OPTIC LINE	
CABLE UTILITY TRENCH	
WATER VALVE	
FIRE/FLUSHING HYDRANT	
SANITARY SEWER MANHOLE	
STREET SIGN	
SINGLE PHASE CABINET	
POWER TRANSFORMER	
SECONDARY PEDESTAL	
FIBER PEDESTAL	

EX. = EXISTING
FL. = FLOW LINE
EL. = ELEVATION
CL. = CENTERLINE

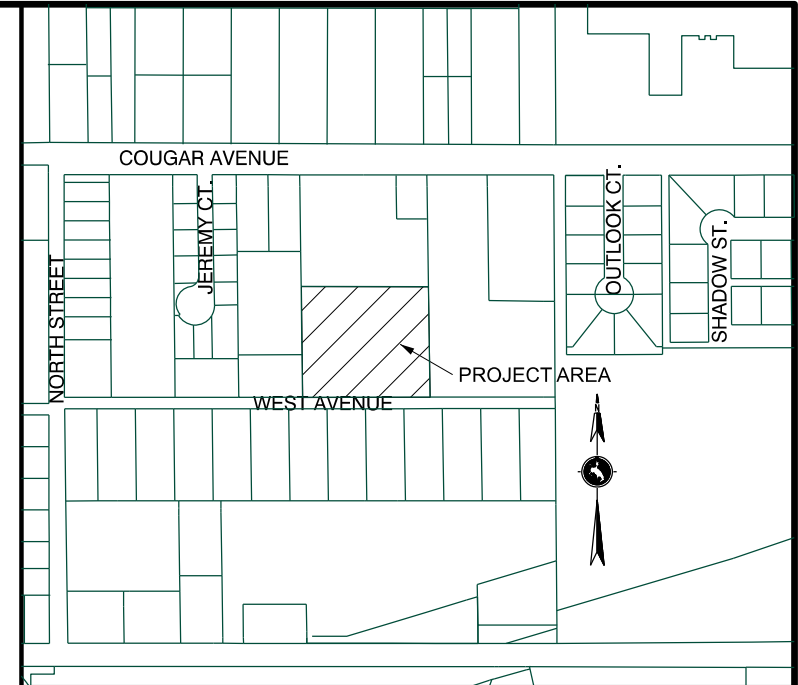
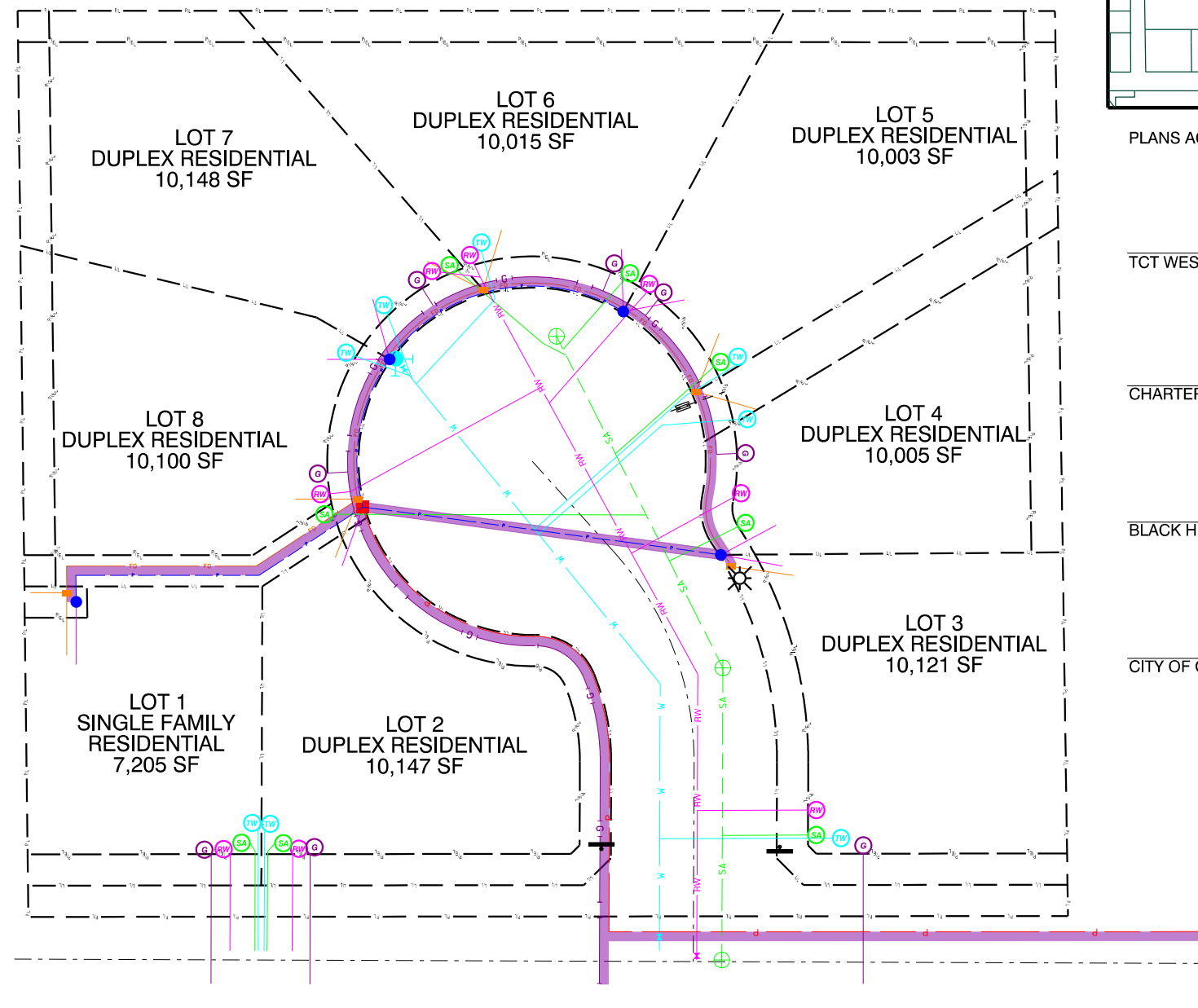
*PROPOSED UTILITIES IN COLOR OR BLACK,
EXISTING UTILITIES IN GREYSCALE

GENERAL NOTES

- 1) ALL QUANTITIES ARE APPROXIMATE.
- 2) CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
- 3) ALL CURB & GUTTER SHALL BE CITY OF CODY 5 IN. BACK "ROLL OVER" PROFILE, UNLESS OTHERWISE NOTED.
- 4) SEE WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS FOR SEWER/TREATED WATER SEPERATION CONFLICTS. USE SCHEDULE 40 PVC FOR ALL SANITARY SEWER SERVICES.
- 5) MINIMUM BURY ON ALL TREATED WATER MAINS IS 7 FT.
- 6) ALL MECHANICAL JOINTS SHALL INCLUDE JOINT RESTRAINT.
- 7) ALL FIRE HYDRANTS SHALL BE 7 FOOT BURY.
- 8) ALL TREATED WATER SERVICES SHALL BE 3/4 IN. UNLESS NOTED OTHERWISE, SEE TREATED WATER PROFILE.
- 9) SHALLOW UTILITY BOXES SHALL NOT BE LOCATED OVER THE TOP OF WATER, SEWER, OR STROM DRAINAGE FACILITIES.
- 10) IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS FROM WY DEQ (SWPPP) AND TO PROVIDE THE CITY WITH A COPY OF THE APPLICATION.

INDEX OF SHEETS

SHEET NO.	SHEET
1	ROAD PLAN & PROFILE
2	SANITARY SEWER & TREATED WATER PLAN & PROFILE
3	RAW WATER PLAN & PROFILE
4	UTILITY PLAN
5	DRAINAGE FACILITIES PLAN
6 - 9	CITY DETAILS



PLANS ACCEPTED AND APPROVED FOR UTILITY PURPOSES BY:

TCT WEST

CHARTER COMMUNICATIONS

BLACK HILLS ENERGY

CITY OF CODY ELECTRIC DIVISION

REVISION		JOB NO.
DATE	DESCRIPTION	2021-064
2/17/2022	PRELIMINARY PLANS	DRAWN BY: RWB
5/17/2022	FINAL PLANS	CHECKED BY: JGE
		APPROVED BY: JGE

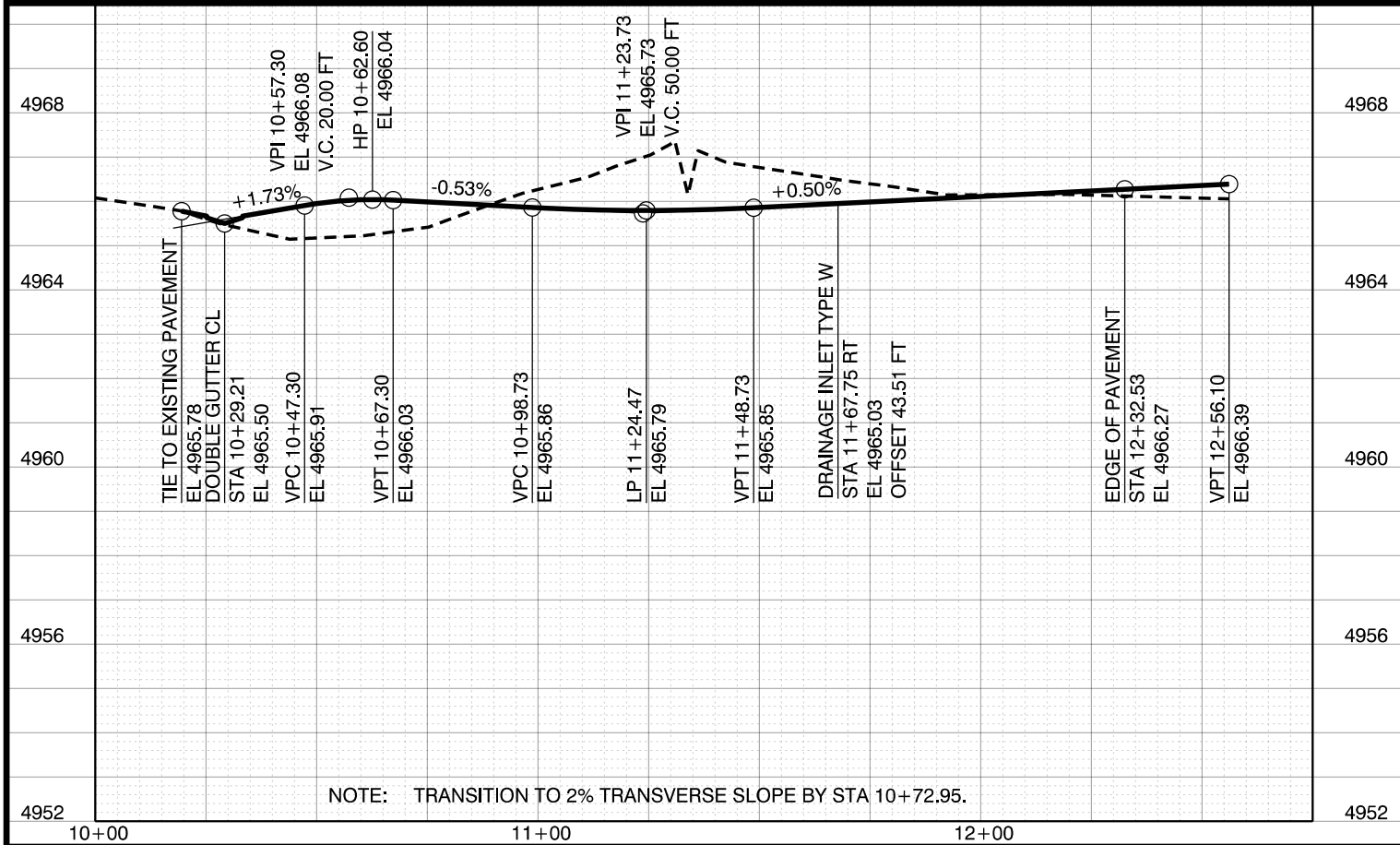
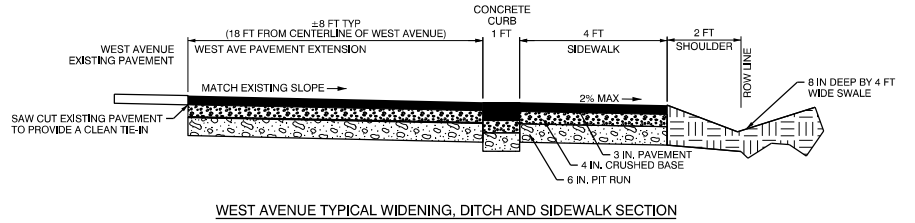
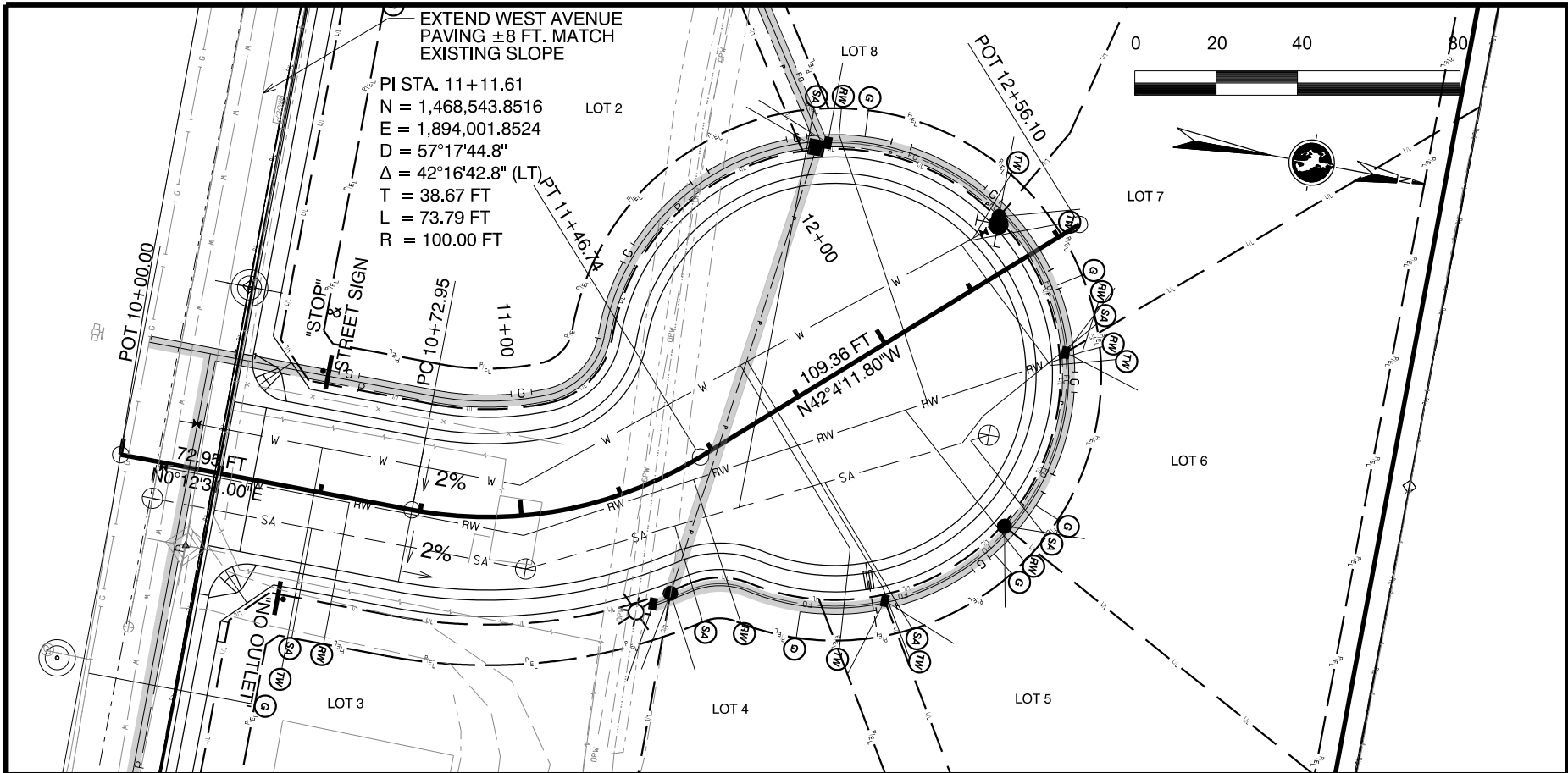
COVER

WEST AVENUE DUPLEXES SUBDIVISION
OWNER: OLD BLACK WAGON PROPERTIES, LLC

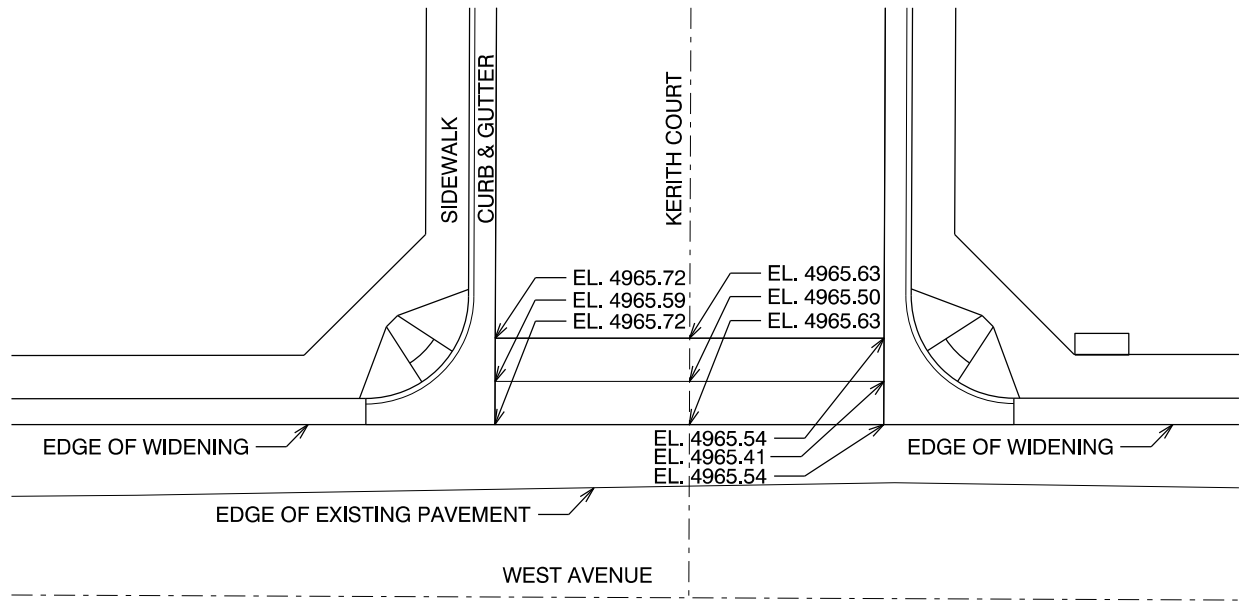
2824 BIG HORN AVE.
CODY, WY 82414
PHONE: (307) 527-0915
FAX: (307) 527-0916



COVER



--- PROPOSED GRADE
 ——— EXISTING GROUND



VALLEY GUTTER ELEVATION DETAIL

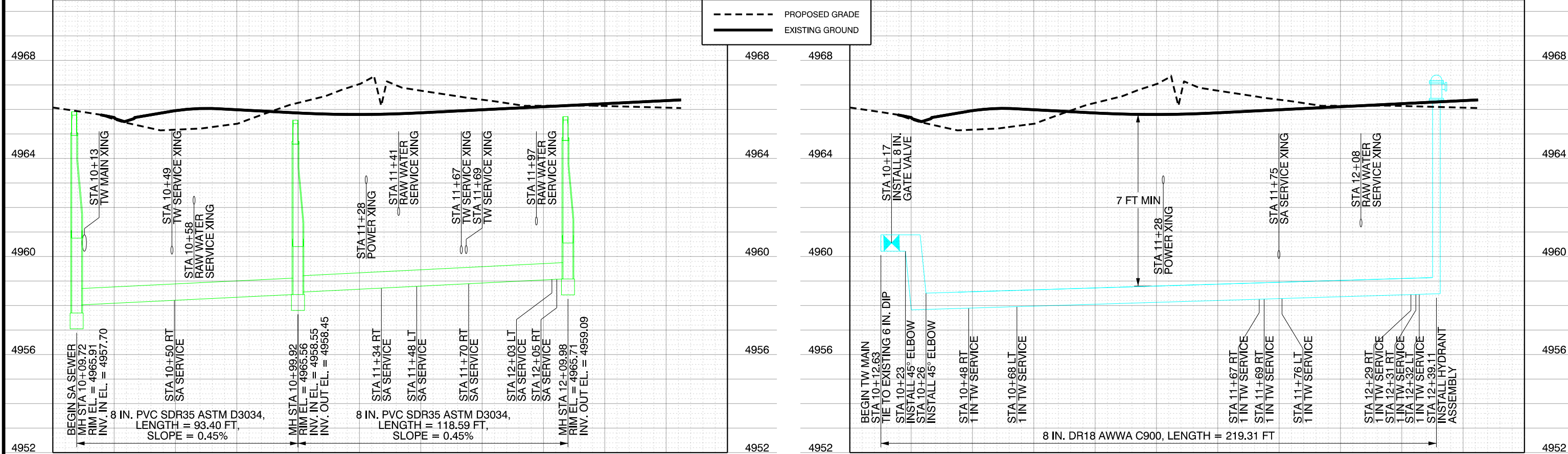
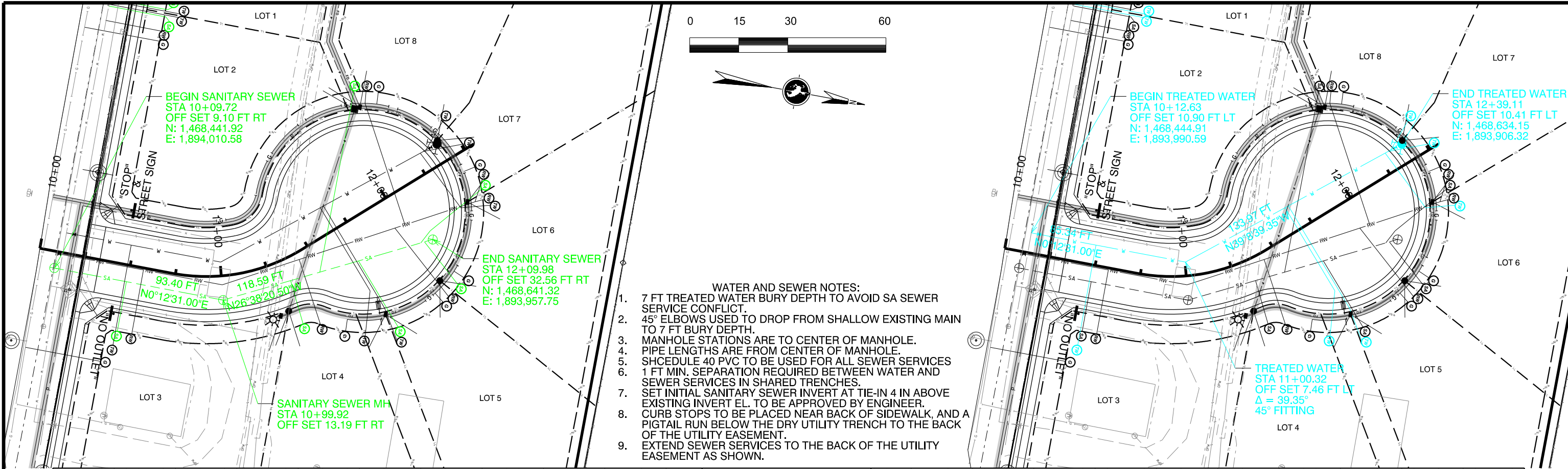
DATE	REVISION	JOB NO.
2/17/2022	PRELIMINARY PLANS	2021-064
5/17/2022	FINAL PLANS	

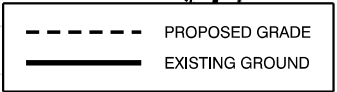
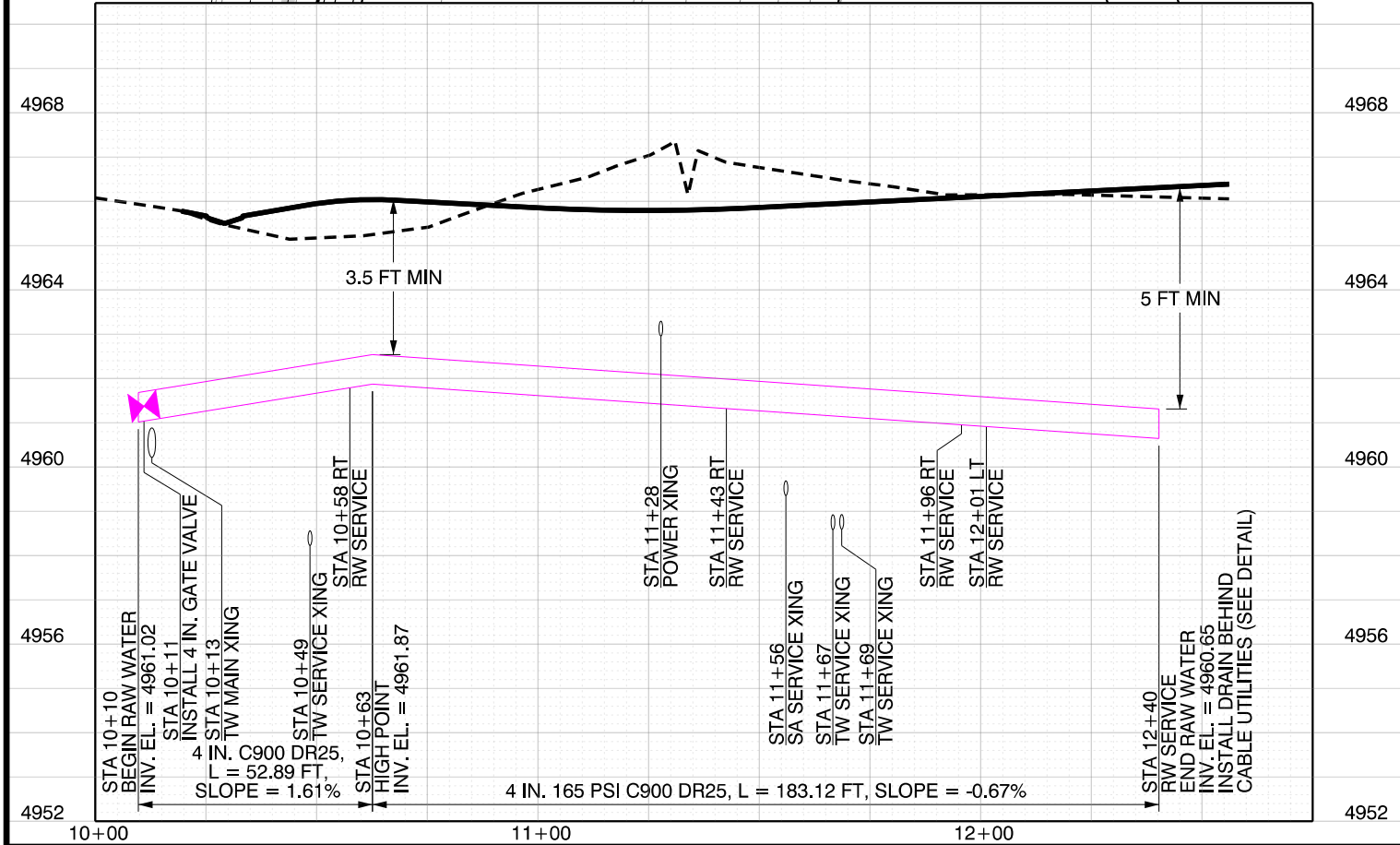
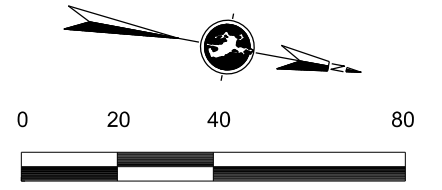
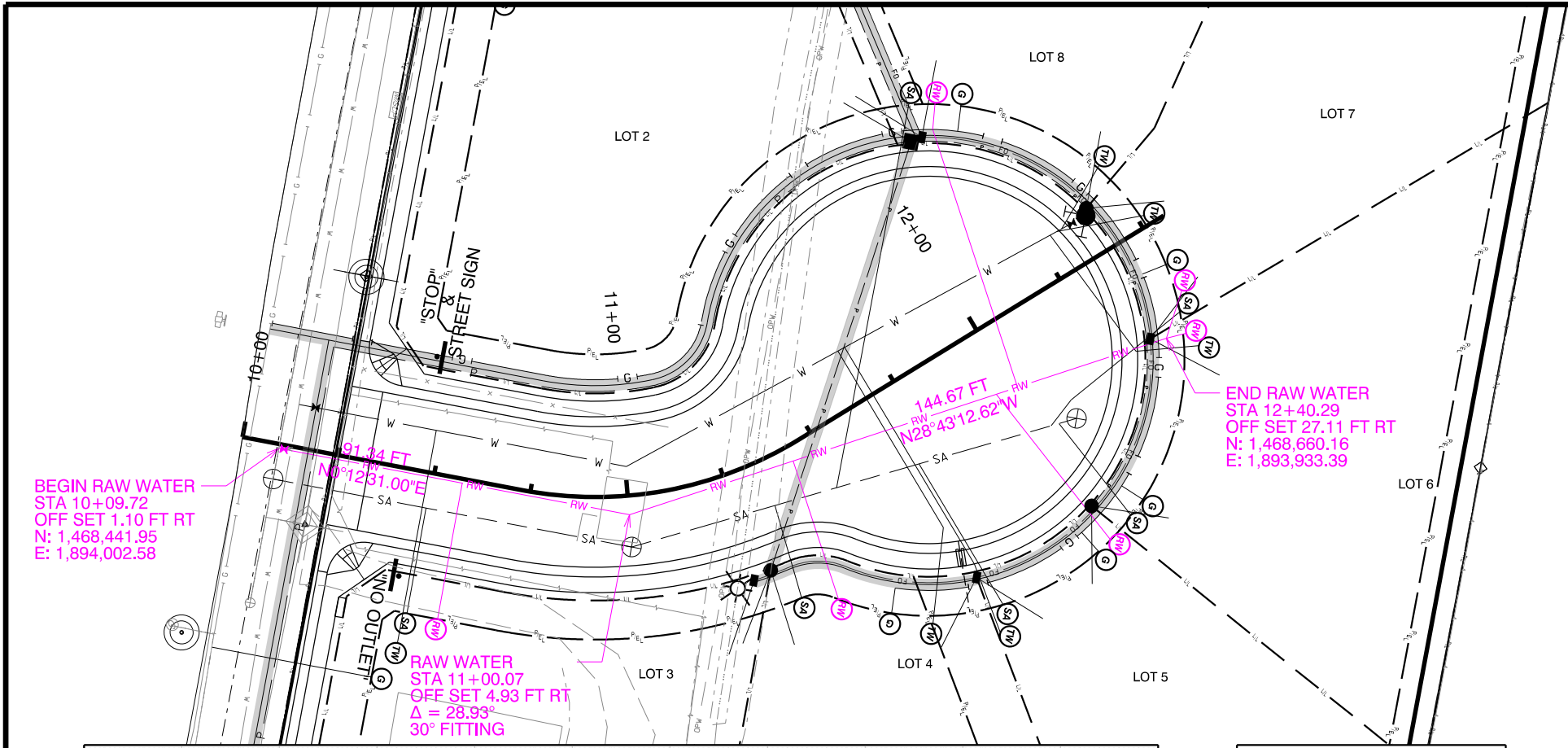
DRAWN BY: RWB	KERITH COURT PLAN & PROFILE
CHECKED BY: JGE	
APPROVED BY: JGE	

WEST AVENUE DUPLEXES SUBDIVISION
 OWNER: OLD BLACK WAGON PROPERTIES, LLC

2824 BIG HORN AVE.
 CODY, WY 82414
 PHONE: (307) 527-0915
 FAX: (307) 527-0916







NOTE: ENSURE SERVICES DRAIN FROM THE DELIVERY POINT BACK TO THE MAIN AND MINIMUM BURY IS MAINTAINED. PLACE VALVES NEAR BACK OF SIDEWALK, NO PIGTAIL NEEDED.

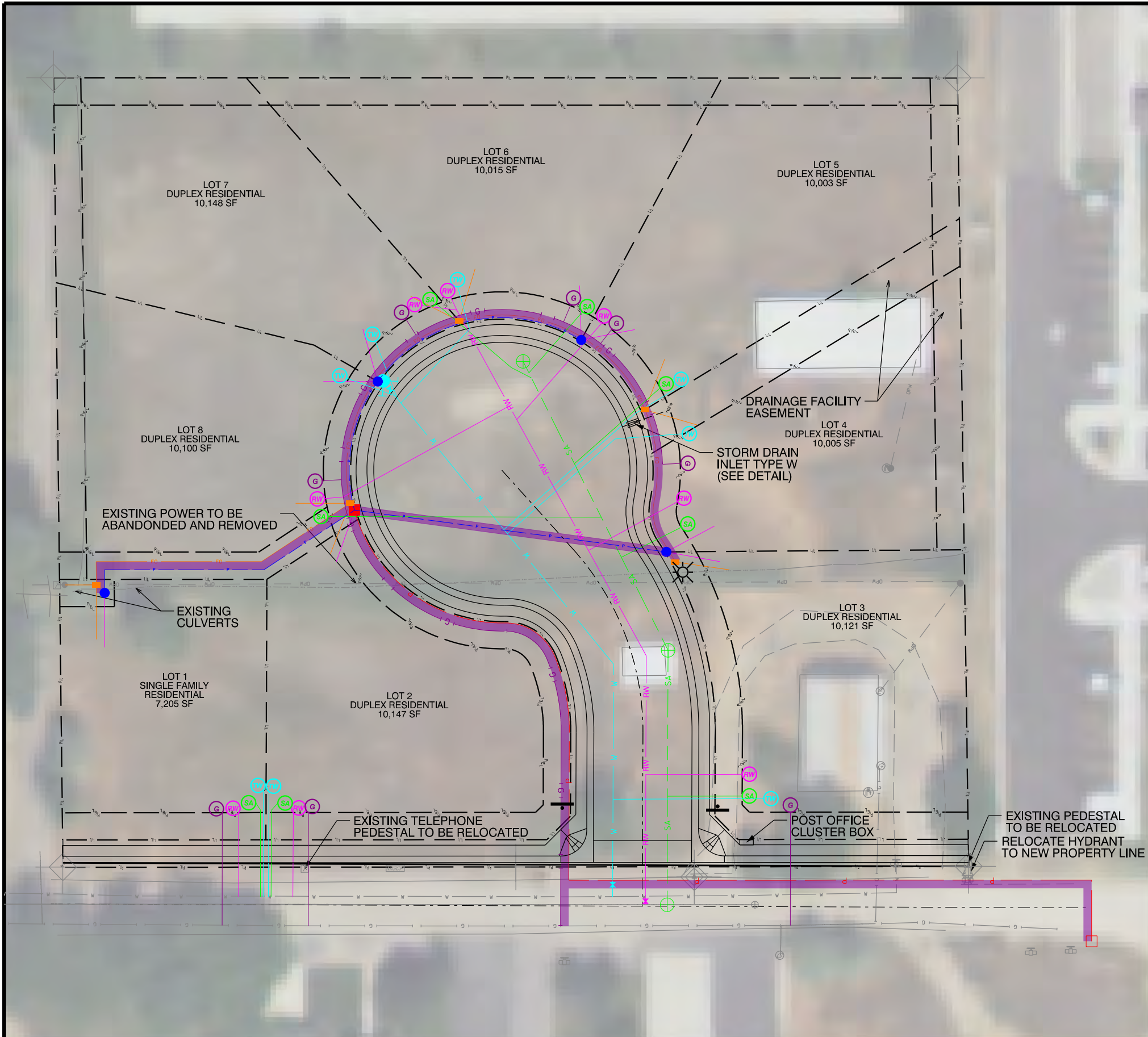
DATE	REVISION	JOB NO.
2/17/2022	DESCRIPTION	2021-064
5/17/2022	PRELIMINARY PLANS	DRAWN BY: RWB
	FINAL PLANS	CHECKED BY: JGE
		APPROVED BY: JGE

RAW WATER PLAN & PROFILE

WEST AVENUE DUPLEXES SUBDIVISION
OWNER: OLD BLACK WAGON PROPERTIES, LLC

2824 BIG HORN AVE.
CODY, WY 82414
PHONE: (307) 527-0915
FAX: (307) 527-0916





- NOTE:
1. EXISTING FEATURES SHOWN GREYSCALE.
 2. APPURTENANCE SYMBOLS FOR VISUAL PURPOSES ONLY.
 3. LOCATE TREATED WATER CURB STOPS AT THE RIGHT OF WAY LINE. EXTEND PIG TAIL INTO LOT A MINIMUM OF 10 FT. BRING TO SURFACE AND CAP AFTER FLUSHING.
 4. END SEWER SERVICES AT EASEMENT LINES.
 5. LOCATE RAW WATER VALVES AT THE RIGHT OF WAY LINE. PLACE IN IRRIGATION BOX AND SLOPE LINE FROM BOX TO MAIN.

LEGEND	
	SUBDIVISION BOUNDARY
	LOT LINES
	STREET CENTERLINE
	PROPOSED EASEMENT
	RIGHT OF WAY
	EXISTING BUILDING
	SANITARY SEWER MAIN & SERVICE
	TREATED WATER MAIN & SERVICE
	RAW WATER MAIN & SERVICE
	GAS MAIN & SERVICE
	PRIMARY POWER LINE
	SECONDARY POWER LINE
	SERVICE LINE TO UNIT METER
	FIBER OPTIC LINE
	RAW WATER DITCH LINE
	OVERHEAD POWER LINE
	CABLE UTILITY TRENCH
	FIRE HYDRANT
	SEWER MANHOLE
	TELEPHONE PEDESTAL
	FIBER PEDESTAL
	POWER POLE
	WATER VALVE
	WATER SPIGOT
	STREET SIGN
	SINGLE PHASE CABINET
	TRANSFORMER
	SECONDARY PEDESTAL
	STREET LIGHT



REVISION		JOB NO. 2021-064
DATE	DESCRIPTION	DRAWN BY: RWB
2/17/2022	PRELIMINARY PLANS	CHECKED BY: JGE
5/17/2022	FINAL PLANS	APPROVED BY: JGE

UTILITY PLAN

WEST AVENUE DUPLEXES SUBDIVISION
OWNER: OLD BLACK WAGON PROPERTIES, LLC

2824 BIG HORN AVE.
CODY, WY 82414
PHONE: (307) 527-0915
FAX: (307) 527-0916



DRAINAGE REPORT

For

OLD BLACK WAGON PROPERTIES, LLC.

West Ave. Duplexes Major Subdivision

Owner

Old Black Wagon
Properties, LLC.
Ken McKinney

505 SW Levens Street
Dalls, OR 97338



SAGE CIVIL ENGINEERING
ENGINEERS | SURVEYORS

2824 Big Horn Ave.
Cody, WY 82414



May 13, 2022

Introduction - Property Description

This project is located at 2719 West Ave. In total, the development encompasses approximately 2.2 Acres. Eight lots will be created and accessed by West Ave. and a proposed cul-de-sac. Of the eight lots, seven are proposed for duplexes and the remaining lot will be single family residential.

Purpose of Drainage Plan

This drainage plan outlines the proposed measures to handle storm water runoff for this development. Drainage calculations have been performed and storm water facilities will be constructed as shown on the drainage and construction plans.

Description of Facilities and Assumptions

The proposed drainage improvements will consist of the street paving, curb and gutter, curb cut and drainage swales located within drainage easements along the north boundary of Lot 4 and the east boundary of Lots 4 and 5. See Drainage Plan for basin information.

Existing Conditions

Under existing conditions, the stormwater runoff patterns have been dictated by the presence of an irrigation supply ditch running east west across the property. This ditch is located on a ridge at the highest point on the property. Flow was directed from this ditch to flood irrigate the pasture north and south of it. Stormwater south of this ditch flowed to West Ave. and stormwater generated from lands north of this ditch made its way to the northeast corner of the property where it leaves and flows onto the neighboring property. There are two existing buildings, which were modeled as impervious. The remainder of the lot was modeled as grassy. The roads were not measured separately. The unimproved C factor was increased slightly to represent the hardpacked, road areas.

Proposed Conditions

The cul-de-sac is proposed with a vertical curve located north of the intersection with West Ave. The street south of this curve will drain back to West Ave. and the area north of this curve will drain north into the proposed development. This allows us to capture the stormwater runoff for disposal into the percolation trench locations. As designed, the cul-de-sac surfacing will be graded with a 2% transverse slope to the east. West Ave. at the tie in point slopes to the east. Beginning at that point, rather than transition to normal crown, the transition will be to a 2%.

For calculation purposes, it was assumed each lot would have a total impervious area of 5,000 sf. This should be a conservative number and should account for buildings, driveways, patios, etc. It is especially conservative for the 7,000 square foot lot, Lot 1. The remaining portions of the lot would be grass, shrubbery, and other landscaping.

Calculations

The storm drainage runoff calculations used the following data:

Applicable C values are:

$$C_{\text{Impervious}} = 0.90$$

$$\begin{aligned} C_{\text{unimproved}} &= 0.30 \\ C_{\text{landscaped}} &= 0.20 \end{aligned}$$

Per the SWMP, section 3.6.4, the percolation trench design is to be based on a 25-year, 2-hour event for the percolation trenches, therefore $I = 0.66$ in/hr. The storm volume calculations are shown below.

Existing Basin DB1	Total Area Sq. Ft.	C	C*A Acres	Flow 25-Yr. 2 Hr. cfs	Volume 25-Yr. 2 Hr. Cu. Ft.	Flow 100-Yr. 2-Hr. cfs	Volume 100-Yr. 2 Hr. Cu. Ft.
Building/Impermeable EDB1	1,511	0.9	0.031	0.02	148	0.03	191
Building/Impermeable EDB2	1241	0.9	0.026	0.02	122	0.02	157
Building/Impermeable EDB3	166	0.9	0.003	0.00	16	0.00	21
Total Undeveloped DB1 C=0.30	92,883	0.3	0.26	0.17	1,212	0.22	1,561
Total	95,801			0.208	1,498	0.268	1,930

Developed Codition - Perc Trench Basin	Description	Area Sq. Ft.	C	Impervious Area C=0.90 SQFT	C*A (Impervious) Acres	Flow 25-Yr. 2 Hr. cfs	Volume 25-Yr. 2 Hr. Cu. Ft.
DDB1	Street	15,659	0.9	15,659	0.324	0.214	1,537
DDB2 Houses 6 Lots@5,000 Per	House-Imperious	30,000	0.9	30,000	0.620	0.409	2,945
DDB2 Landscaping	Grass, pervious	31,372	0.3	979.2	0.216	0.143	1,027
Total		77,031		46,638	1.159	0.765	5,510

Developed Codition - West Ave. Basin	Description	Area Sq. Ft.	C	Impervious Area C=0.90 SQFT	C*A (Impervious) Acres	Flow 25-Yr. 2 Hr. cfs	Volume 25-Yr. 2 Hr. Cu. Ft.
DDB4	Street	3,083	0.9	3,083	0.064	0.042	303
DDB2 Houses 2 Lots@5,000 Per	House-Imperious	10,000	0.9	10,000	0.207	0.136	982
DDB2 Landscaping	Grass, pervious	628	0.3	979.2	0.004	0.003	21
Total		13,711		14,062	0.275	0.181	1,305

The total storm water volume for the site post-development = 6,815 ft³. Subtracting the historic runoff volume of 1,498 ft³ requires the percolation trenches to hold a minimum of 5,316 ft³ to be retained on site. Since the north developed basin produces a total volume of 5,510 and the water ultimately ends up in the same place, a facility in the north basin can be used to address all of the water over historic produced.

Percolation Trench Summary

The proposed percolation trench is 288 ft long (See Drainage Plan). When the ends are removed, the total length used for these calculations was 260 ft. The expected native material is the terrace gravels located throughout this area of town. Percolation tests conducted in these areas have typically yielded perc rates greater than 0.25 inches per minute. To be conservative, this percolation rate was cut in half. The table below summarizes the volume of outflow through the bottom of the trench during the design storm and the amount of storage both on the surface and in the rock proposed for the over-excavation of the trench.

Volume Percolated During 2 Hour Storm			
	Area SQFT	Outflow	2hr Outflow Volume
Percolation Area	2,961	0.51 CFS	3,701 CF
	Total	0.51 CFS	3,701 CF

Storage Area	Area SQFT	Length	Storage
Swale (Total Length w/out Ends = 260 ft)	8.25	260 FT	2,031 CF
Rock lining/trench (assuming 40% void space)	6.3	260 FT	1,638 CF
		Total	3,669 CF

In total, the percolation trench will store 3,669 cf of water, which is a majority of the required 5,300 cf. With a theoretical outflow of 3,700 cf, the trench has more than enough capacity to percolate the design storm and should regardless of any reductions in performance over time.

